

Preliminary Report
Ballarat Mining Exchange

6 Lydiard Street North, Ballarat

CONSERVATION MANAGEMENT PLAN

Commissioned by the City of Ballarat

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SECTION 1

1.0 Introduction

□ **SECTION 1**

1.0 Introduction

The City of Ballarat engaged Dr David Rowe of Authentic Heritage Services Pty Ltd and Wendy Jacobs, Architect & Heritage Consultant, to prepare a Conservation Management Plan of the Ballarat Mining Exchange in June 2003. The preliminary cost estimates have been provided by Dr Jim Smith, Building Cost Consultant with Authentic Heritage Services Pty Ltd.

This Report provides preliminary recommendations and cost estimates for the exterior and interior of the Exchange Building, together with recommended SHORT TERM ESSENTIAL Works & Maintenance Items. It should be noted that these recommendations have been given without the full preparation of the Conservation Management Plan. Some may change as the complete Management Plan is developed.

These Recommendations, Works and Maintenance Items have also been prepared with the knowledge that the City of Ballarat propose to use the Mining Exchange Building as a multi-purpose building with a mix of commercial and community functions. These uses are considered appropriate from a heritage viewpoint and will be reflected in the Conservation Policy in the final Report.

The exterior and interior recommendations for the Exchange Building have been formatted according to its Integrity Rating and the four main building components, namely:

- Front two storey shopfront and office pavilion fronting Lydiard Street;
- Mining Exchange Hall with flanking trading booths;
- Former Call Room (north-east corner);
- Former Toilet space, office and passage (west of Call Room)

SECTION 6

6.0 Preliminary Recommendations, Works & Maintenance



SECTION 6

6.1 Introduction

The following Recommendations, Works and Maintenance items should be read in conjunction with the Existing Floor Plans & Photographic Keys and Building Integrity Key (Drawings 1.01-04, Appendix 8.01) and the recent photographs (Appendix 8.03).

6.1.1 Explanatory

The following recommendations have been formatted according to a specific order of priority and hierarchy. Essential works are those conservation, restoration, repair and reconstruction works that should be carried out and given priority.

Short term relates to a 3-year work program, while long terms equates to approximately 5-8 years.

This Preliminary Report deals only with the SHORT TERM ESSENTIAL Works & Maintenance Items, as the first priority in restoring and reconstructing the building for its new proposed uses.

The SHORT TERM DESIRABLE/LONG TERM ESSENTIAL, LONG TERM ESSENTIAL and LONG TERM DESIRABLE Works and Maintenance Items will be provided in the final Report.

All Recommendations, Works and Maintenance Items have been tabulated, with Photograph columns provided so that the items can be cross-referenced with the rest of the Report. Potential Heritage Victoria Permit Exemptions have also been noted.

6.1.2 Recommended Permit Exemptions

The following recommended permit exemptions, together with those exemptions listed in with the Recommendations, Works and Maintenance Items, are recommended permit exemptions only. Formal application to the Executive Director of Heritage Victoria is required for these exemptions to be officially ratified as part of the heritage registration of the place.

A. General Permit Conditions

- All alterations are to be planned and carried out in a manner that prevents damage to the fabric of the registered place or object.
- Should it become apparent during further inspection or the carrying out of alterations that original or previously hidden or inaccessible details of the place or object are revealed which relate to the significance of the place or object, then the exemption covering such alteration shall cease and the Executive Director shall be notified as soon as possible.
- If there is a conservation policy and plan approved by the Executive Director, all works shall be in accordance with it.
- Nothing in this declaration prevents the Executive Director from amending or rescinding all or any of the permit exemptions.

- Nothing in this declaration exempts owners or their agents from the responsibility to seek relevant planning or building permits from the responsible authority where applicable.

Buildings

Exterior

- Repairs and maintenance which replace like with like, including fences and gates.
- Repainting all previously painted surfaces in the same colour scheme and paint type.
- Repair and servicing of equipment and services including lifts, wiring, plumbing, heating, air conditioning and fire services; equipment and components with moveable parts requiring lubrication including machinery, engines, water reticulation systems.
- Removal of extraneous items such as air conditioners, pipe work, ducting, wiring, antennae, aerials etc, and making good.
- Laying or repair of gravel/toppings to the driveways and internal roads.
- Maintenance of power or pipelines or other public services located on the property where this involves no alteration to the fabric of the place.
- Cleaning out gutters, drainage systems, ponds, dams and other water storage and drainage areas.

Interior

- Painting of previously painted walls and ceilings provided that preparation or painting does not remove evidence of the original paint or other decorative scheme. All existing signage to be retained.
- Removal of paint by approved method from originally unpainted or oiled joinery doors architraves, skirtings and decorative strapping.
- Installation, removal or replacement of carpets and/or flexible floor coverings.
- Installation, removal or replacement of curtain track, rods, blinds and other window dressings.
- Installation, removal or replacement of hooks, nails and other devices for the hanging of mirrors, paintings and other wall mounted artworks.
- Installation, removal or replacement of electrical wiring provided that all new wiring is fully concealed.
- Installation, removal or replacement of smoke detectors.

Recommendations & Scope of Works

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
6.2	EXTERIOR			
6.2.1	GENERAL RECOMMENDATIONS			
A.	EXTERNAL PAINTING			
•	Unpainted surfaces including the face brickwork, cement dressings and galvanised corrugated steel roof cladding should not be painted;	3.01-3.10		NCA
•	Opportunities are available for painting the exterior window frames and sashes, doors, and verandah in appropriate colours as existing;		✓	NCA
B.	DEMOLITION & REMOVAL OF BUILDING STRUCTURES OR FABRIC			NCA
•	Very few opportunities are available for the demolition or removal of building spaces at the Mining Exchange, given the high integrity of the place. Given the low integrity and poor condition of the former Men's Toilet space, opportunities are available for the adaptation of this space, including the demolition of the introduced timber framed corrugated acrylic roof structure. For further details about the changes to the former Men's Toilets, refer to Section 6.6.4 Opportunities are also available for removing the introduced bank of timber framed double hung windows and wall cladding in the large opening on the east wall. For further details, refer to Section 6.6.2;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
<ul style="list-style-type: none"> • 	<p>Opportunities are available to remove the introduced bank of timber framed double hung windows (with timber wall cladding surrounds and introduced steel I lintel) on the east façade. This introduced fabric in the large opening could be replaced with a timber framed and glazed door partition (or other similar glazed openable partition) that allows the space to be fully openable for the ingress of vehicles and large objects;</p>			NCA
<p>C.</p>	<p>NEW WORKS</p>			
<ul style="list-style-type: none"> • 	<p>Very few opportunities are available for additions and other new works to the exterior of the Mining Exchange, given that the building takes up the bulk of the site and that the exterior form and facades are largely intact.</p>			NCA
<ul style="list-style-type: none"> • 	<p>External Café Seating & Tables</p> <p>Opportunities are available for continuing external seating and tables as part of a café. Any furniture and associated features should not be fixed to the building, should be considered temporary in nature and comply with the City of Ballarat's <i>Guidelines for Kerbside Eating Facilities</i>. Given the high integrity and elevated significance of the Mining Exchange exterior, introduced kerbside screens are considered undesirable;</p>	3.04		NCA
<ul style="list-style-type: none"> • 	<p>Toilet Upgrade</p> <p>Details of the schematic proposal for the upgrading of the toilets to meet the expected new uses for the building are provided in Section 6.6.4.</p>			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
<ul style="list-style-type: none"> • 	<p>Commercial Kitchen</p> <p>Given the flexible uses and varying number of expected visitors to the Exchange building (the number of visitors depending on the use), and the high integrity of the interior spaces and limited access for waste disposal and food deliveries (and the need for spatial separation between waste disposal and food deliveries), consideration should be given to portable catering facilities that can be commissioned on an "as needs" basis. The Call Room or some of the smaller booth spaces could then be used as preparation/serving spaces.</p> <p>Alternatively, there may be a limited opportunity for substantial reconfiguration of the existing store (space FG02) and kitchen area of the cafe (space FG01) for a new, more permanent and shared commercial kitchen. The booth in the north-west corner of the Exchange Hall (space B01) would possibly be needed as a cool room, therefore requiring the reconstruction of the original timber and glazed partition. There are potential conflicts with waste disposal and food deliveries, given the access constraints and these conflicts would need to be assessed by Council's Building Surveyor and Health Officer.</p> <p>Opportunities are available for a small kitchen at the rear (east). A larger opening in the wall between Booths 12 and 13 could be considered as a space for a smaller, more permanent kitchen for casual use. Further confirmation is required from Council's Building Surveyor and Health Officer;</p>			NCA
D.	<p>SIGNAGE</p> <p>External signage should be discreet and complement the building. Signage on the face brickwork, dressings and the verandah decoration should be avoided. Opportunities are available for shopfront signage, preferably applied to the inner face of the glass. There are also opportunities for suspended (below verandah) signage. Any signage should be of a design that complements the predominant Late Victorian Boom Classical style and colours of the Mining Exchange building, with sympathetic face lettering. Fluorescent and iridescent paints and internally illuminated signs should not be allowed.</p>	3.01 3.04-3.05		NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
E.	FIRE EXITS			
•	New fire exits can be detrimental to the appearance of the Mining Exchange building. A fire prevention program and fire emergency program should be developed as a first priority as part of the consideration of new uses for the building. Any new exits should consider the impact on the architectural and visual amenity of the building. All options should be considered before significant fabric is removed or altered, as from a heritage viewpoint there are no opportunities for establishing new openings in the Exchange exterior walls. Opportunities are already available for fire exits to Lydiard Street and to the rear (east) of the Exchange Hall via the rear eastern exit passage. A single door opening also exists on the west wall of the passage to the former Men's Toilets (space T03) that provides external access to the right of way to the north of the Exchange Hall. There may be limited opportunities for additional exits from the south wall (east end) of the call room space CR01) and from the south wall of one of the southern booths off the Exchange Hall. These additional exits should only be considered if absolutely necessary and in accordance with an assessment of Council's Building Surveyor;			NCA
F.	EXTERNAL PLANT & EQUIPMENT			
•	Limited opportunities are available for the introduction of new plant and equipment. Areas of roof not visible from the street or rarely visible from the immediate surrounding area (such as from the University of Ballarat building) may be considered;			
6.2.2	FRONT PAVILION			
A.	GENERAL EXTERIOR RECOMMENDATIONS			
•	Retain original (1888) two storey height and Victorian Boom Classical styled rectangular form;	3.01		NCA
•	Retain reconstructed broadly projecting ground floor convex verandah with its central segmented arched canopy (having decorative cast iron infill framed by the name "Mining Exchange" and adorned with a cast iron finial), paired cast iron verandah columns, cast iron brackets and valances, and striped paintwork on the verandah roof (west elevation);	3.01, 3.03		NCA
•	Retain original (1888) arcaded ground floor shopfronts having smoothly rusticated and rendered arches supported by smooth rendered piers and pilasters with projecting capital mouldings (west elevation);	3.04		NCA

Reference	<p>Recommendations & Short & Long Term Scope of Works & Maintenance</p>	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick (✓))	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) timber framed ground floor shopfront windows within the arches (west elevation);	3.04		NCA
•	Retain reconstructed ground floor six panelled timber shopfront doors with timber framed transom windows above (west elevation);	3.08		NCA
•	Retain original (1888) large central smoothly rusticated covered ground floor entrance arch with highly elaborate floral relief bands and two six panelled timber doors (with round-arched fanlights above) forming its base (west elevation);	3.07		NCA
•	Retain original (1888) ground floor wrought iron entrance gates within covered archway (west elevation);	3.08		NCA
•	Retain original (1888) three bayed composition of the first floor separated by projecting face brick pilasters with rendered capitals having incised panels (west elevation);	3.01		NCA
•	Retain original (1888) first floor face brown brick wall construction with rendered dressings (west elevation);	3.02		NCA
•	Retain original (1888) first floor bays of three timber framed double hung windows adorned with moulded rendered aedicules (west elevation);	3.01		NCA
•	Retain original (1888) elaborated scrolled pediment surmounting the central first floor window bay (west elevation);	3.02		NCA
•	Retain original (1888) rendered band of relief panels at the first floor window bases to the central bay (west elevation);	3.01		NCA
•	Retain original (1888) segmental pediments to the flanking first floor window bays (west elevation);	3.01-3.02		NCA
•	Retain original (1888) rendered balustraded bands at the first floor window bases of the flanking bays (west elevation);	3.01-3.02		NCA
•	Retain original (1888) wide, rendered band with incised panels in the upper reaches of the first floor (west elevation);	3.01-3.02		NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) elaborate balustraded parapet with its band of decorative modillions along its base and bays of rendered pedestals with incised panels which support decorative urns (the more centralized urns are more elaborate), and the central small raised segmental pediment which features the title panel with the date "1888" inscribed within it (west elevation);	3.01-3.02		NCA
•	Retain original (1888) face red brick side walls with curved and straight parapets (north and south elevations);			NCA
•	Retain original (1888) face brick chimneys with rendered moulded tops (north and south elevations);			NCA
•	Retain original (1888) attached hipped roof forms (as a grouping of three) behind the west elevation parapet;			NCA
•	Retain the galvanised corrugated steel roof cladding;			NCA
•	Monitor minor cracking in the balustraded bases to the flanking first floor window bays (west elevation);			NCA
B.1	FRONT PAVILION: SHORT TERM ESSENTIAL EXTERIOR WORKS & MAINTENANCE			
•	Clean the ground floor verandah flashings and gutters, particularly where there is weathering and damp build up on the end flashings. This should be carried out annually;	3.01, 3.03	✓	\$530
•	Lower the ground level under the verandah so that the subfloor ventilation openings are free of debris;	3.09-3.10	✓	\$11,540
•	Repair and restore weathered timber window frames to first floor windows (east elevation);	3.47, 3.55	✓	\$1,200
•	Replace broken window pane and repair broken sash cord to first floor window (east elevation, north end);		✓	\$250
•	Replace introduced corrugated acrylic roof sheeting over original skylights with double glazed panels such as Velux or equivalent;	3.44, 3.46		\$2,240

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick (✓))	Cost Estimate (Works Only) NCA = no cost allowed
6.2.3	MINING EXCHANGE HALL			
A.	GENERAL EXTERIOR RECOMMENDATIONS			
•	Retain original (1888) raised and curved central roof form;	3.11		NCA
•	Retain galvanised corrugated steel roof cladding;	3.11		NCA
•	Retain original (1888) face red brick wall construction (north, south and east elevations);	3.11-3.12		NCA
•	Retain original (1888) unpainted bluestone plinth (north, south and east elevations);	3.12		NCA
•	Retain original (1888) arched clerestory windows with projecting brick buttressing between (north, south and east elevations);	3.14		NCA
•	Retain original (1888) three panelled double timber doors with timber framed transom window above (east elevation);	3.13		NCA
•	Retain original (1888) timber framed double hung single windows (east elevation);	3.12		NCA
•	Retain original (1888) timber framed clerestory windows (north, south and east elevations);	3.11, 3.13-3.14		NCA
•	Retain original (1888) rendered cappings to parapet walls (north, south and east elevations);	3.11		NCA
B.1	MINING EXCHANGE HALL: SHORT TERM ESSENTIAL EXTERIOR WORKS & MAINTENANCE			
•	Regularly clean out debris from gutters and valleys. This should be carried out quarterly;		✓	\$650
•	Lightly sand, prime and paint timber fascias (elevated roof section) (north, south and east elevations);		✓	\$950
•	Replace deteriorated timber fascias of identical size, form and material (north, south and east elevations);		✓	\$2,650

Reference	<p>Recommendations & Short & Long Term Scope of Works & Maintenance</p>	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Reattach and lightly sand, prime and paint timber scotia moulds to timber fascias (elevated roof section) (north, south and east elevations);	3.17	✓	\$350
•	Replace deteriorated timber scotia moulds to timber fascias with scotias of identical size, form and material (north, south and east elevations);	3.17	✓	\$500
•	Reconfigure and reattach gutters to ensure adequate slope (elevated roof section) (north, south and east elevations);		✓	\$2,600
•	Remove and clean build up of organic growth on rendered parapet cappings, sills and box gutters with water-based cleaning using atomized water. If necessary, lightly scrub with a bristle brush and treat with chemicals free of soluble salts (north, south and east elevations);	3.11	✓	\$1,760
•	Engage a roof plumber to investigate the apparent reaction of the large introduced zincalume roof vent and zincalume base with the galvanised corrugated steel roof cladding (north side of elevated roof section, west end). If the reaction is confirmed, then replace the zincalume vent with a galvanised steel vent and corrugated galvanised steel base;	3.16	✓	\$1,420
•	Lightly sand, prime and paint all timber window frames and sashes, including the round-arched clerestory window frames;	3.20	✓	\$1,230
•	Replace poorly re-rendered parapet capping to east elevation with a new rendered capping. The render should be non-synthetic, of a traditional mix of the same strength, colour and texture as the nearby original rendered cappings. Ideally, the renderer should text the existing original render. A common mix listed in H. Lardner, Caring for Historic Buildings (Historic Buildings Council, 1993) for cement render repairs is 1:4 cement: sand (minimum);	3.12, 3.14		\$1,290
•	Repair and restore damaged wall ventilation openings (south elevation);		✓	\$1,200
•	Repair spalled render to parapet capping (north elevation - where exposed to the end of the rear lane/right of way). The render should be non-synthetic, of a traditional mix of the same strength, colour and texture as the existing original. Ideally, the renderer should text the existing original render. A common mix listed in H. Lardner, Caring for Historic Buildings (Historic Buildings Council, 1993) for cement render repairs is 1:4 cement: sand (minimum);	3.20		\$1,530

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Repair leaking gas meter (at end of the rear lane/right of way);	3.21	✓	\$200
•	Repair possible leakage in downpipe near ladies toilet windows (at end of the rear lane/right of way);	3.21-3.22	✓	\$270
•	Lightly sand, prime and paint ladies toilet timber window frames;	3.21	✓	\$110
6.2.4	CALL ROOM			
A.	GENERAL EXTERIOR RECOMMENDATIONS			
•	Retain original (1888) elevated height and rectangular form;	3.18a		NCA
•	Retain original (1888) face red brick parapetted wall construction;	3.18a-3.18c		NCA
•	Retain original (1888) rendered cappings to the parapet walls;	3.18a		NCA
•	Retain original (1888) hipped roof form with an elongated lantern light having a curved roof;			NCA
•	Retain galvanised corrugated steel roof cladding;	3.18a		NCA
B.1	CALL ROOM SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced corrugated acrylic sheeting to the lantern light. Restore and repair all deteriorated timber window framing to the lantern light (south elevation) and introduce new glazing (either frosted or clear). Prime and paint window frames and other details;	3.18a		\$3,000
•	Remove and clean build up of organic growth on rendered parapet cappings, and box gutters with water-based cleaning using atomized water. If necessary, lightly scrub with a bristle brush and treat with chemicals free of soluble salts (north, south and east elevations);		✓	\$400

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Regularly clean out debris from gutters, valleys and flashings. This should be carried out quarterly. In particular, immediately clear the build up of debris in the box gutter on the south side (east corner) of the building which is currently causing rainwater to overflow onto the brick wall below. This in turn is causing internal dampness and deterioration of the hard plaster wall. Investigate roof plumbing – may require rainhead and downpipe at this location;		✓	\$950
6.2.5	TOILETS, OFFICE & PASSAGE WING			
A.	GENERAL EXTERIOR RECOMMENDATIONS			
•	Retain face brick parapetted wall construction (west elevation);	3.22-3.24		NCA
•	Retain rendered capping to parapet (west elevation);	3.23		NCA
•	Retain timber framed double hung window (west elevation);	3.23		NCA
•	Retain original (1888) six panelled timber door with timber framed transom window above (west elevation);	3.22		NCA
•	Retain bluestone window sill (west elevation);	3.23		NCA
•	Monitor brick deterioration on west wall;	3.23		NCA
B.1	TOILETS, OFFICE & PASSAGE WING: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Repair spalled render to parapet capping (west elevation). The render should be non-synthetic, of a traditional mix of the same strength, colour and texture as the existing original. Ideally, the renderer should test the existing original render. A common mix listed in H. Lardner, Caring for Historic Buildings (Historic Buildings Council, 1993) for cement render repairs is 1:4 cement: sand (minimum);	3.23		\$650
•	Remove and clean build up of organic growth on bluestone window sill (west elevation) with water-based cleaning using atomized water. If necessary, lightly scrub with a bristle brush and treat with chemicals free of soluble salts;	3.23	✓	\$230

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Restore and repair deteriorated timber window frames and sash. Prime and paint;	3.23	✓	\$400
•	Restore and repair damaged north-west corner of brickwork and pointing (west elevation);	3.24		\$220
•	Restore or replace deteriorated toilet windows (west elevation). Any new windows should be constructed with timber frames;		✓	\$1,000
•	Remove the introduced raised concrete slab in northern area of toilets;	3.25	✓	\$1,550
•	Remove the timber and galvanised corrugated steel partition (north elevation). See INTERIOR WORKS in Section 6.6.4 for further details;	3.25		\$300
6.3	INTERIOR (GENERAL)			
6.3.1	RETENTION OF SIGNIFICANT FABRIC			
•	Retain the original and early spatial configuration of the interior;			NCA
•	Retain the original and early internal walls;			NCA
•	Retain the original/early timber floor boards;			NCA
•	Retain the original and early timber framed windows;			NCA
•	Retain the original and early timber skirtings and architraves;			NCA
•	Retain the original timber staircase;			NCA
•	Retain the original fireplaces and chimney breasts;			NCA
•	Retain the original, early and reconstructed round-arched hopper sash fanlights in the booth arcades;			NCA
•	Retain the reconstructed timber and glazed partition walls to the booths;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick (✓))	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain the original, early and reconstructed panelled timber doors and original door furniture;			NCA
6.3.2	BUILDING CIRCULATION			
•	Original/early thoroughfares for accessing the interiors of the building such as the entrance lobby and stair hall, rear and side passages off the Exchange Hall, and the foyer and passages on the first floor should be retained;			NCA
•	The significant timber staircase should be retained and conserved and its use in the building's circulation system maintained;	3.36		NCA
•	If necessary, opportunities may be available for the introduction of a lift in the rear space of the Shop (in Space FG03b). However, this should only be carefully considered if there is a long-term use for the first floor spaces that requires a lift;			NCA
6.3.3	ELECTRICAL & OTHER RELATED SERVICES			
•	If new electrical, fire and other related services need to be provided internally, investigate methods of introduction that are the least visually intrusive, and require the least amount of intervention into significant wall, ceiling and floor fabric (ie. by utilizing existing openings and ducts where possible);			NCA
•	Any new plumbing pipework should be sensitively located to minimise impact on the original fabric;			NCA
6.3.4	FITTINGS & FIXTURES			
•	The installation of any new fittings and fixtures (such as light fittings, door handles, etc.) should not replicate any original fittings and fixtures. This may cause confusion between the actual original items and the introduced items. Any new fittings or fixtures should be contemporary in design, but respectful to the proportions, design and details of the interior;			NCA
•	Opportunities are available for new lighting in the Exchange Hall – see section 6.4.16 for further details.			NCA
•	Opportunities are particularly available for new lighting in the Call Room, with the removal of the introduced suspended fluorescent lights – see section 6.4.45 for further details.			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
6.3.5	INTERIOR PAINTING			NCA
•	All internal painting should be confined to original painted surfaces. All unpainted surfaces should remain unpainted. All originally unpainted or stained timber joinery should not be painted;			NCA
•	<p>Mining Exchange Hall – Booth Partitions</p> <p>Opportunities are available for painting the existing timber and glazed booth partitions in the Exchange Hall (space H01) in colours that are more reflective of the original (1888) design. Preliminary paint scrapes of the remnant original timber stiles and fanlight for Booth 1 (space BO1) appear to have indicated the following (all colours have been referenced from Haymes Colour Charts):</p> <p>Stile: Deep Indian Red</p> <p>Upper Sash (Fanlight): Deep Indian Red</p> <p>Moulding: Green, Deep Indian Red</p>	<p>3.58-3.60</p> <p>3.64-3.65</p>		NCA
	<p>Figure 2.01 shows the interior of the Exchange Hall in c.1890. The booth partitions and doors appear to have been dark in colour. The north face of the panelled timber door of the Exchange Hall leading to the toilets (space T03) appears to confirm the dark tones. However, the inset panels and panel mouldings of this door appears to have been painted in Stockade Tan.</p> <p>From the preliminary paint scrapes, it is recommended that consideration be given to repainting the timber booth partitions and doors in the early colour scheme. The timber partitions and doors could be painted in Deep Indian Red with Stockade Tan panels and panel mouldings, but more analysis is required to confirm the colour scheme and colour placement.</p>			

Reference	<p>Recommendations & Short & Long Term Scope of Works & Maintenance</p>	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick (✓))	Cost Estimate (Works Only) NCA = no cost allowed
<ul style="list-style-type: none"> • 	<p>Alternatively, the existing Manilla colour of the partitions and doors could be retained. Figure 2.02 shows the interior of the Exchange Hall in c.1900. At that time, the partitions and doors appear to have been painted over in one light colour (without the panels and mouldings being picked out in other colours). Opportunities are available for returning to Manilla only for the whole of the partitions and doors. More analysis is required to confirm the colour scheme;</p>			NCA
<ul style="list-style-type: none"> • 	<p>Call Room</p> <p>Opportunities are available for painting the call room in a colour scheme reflective of the original (1888) design. The walls are currently painted in a Grey Green, as are the timber trusses and cornices. The lining board ceiling is stained.</p> <p>Preliminary paint scrapes indicated that the lower reaches of the walls were painted in Deep Indian Red, with the upper walls in Hampton Court. These tonings are confirmed in Figure 2.03, which shows part of the interior of the Call Room in 1904. The cornices are shown in a slightly darker colour, but paint scrapes have not been carried out in this area.</p> <p>From preliminary analysis, consideration could be given to Hampton Court upper walls, Deep Indian Red dados (there is evidence of the extent of the dado on the wall), with a slightly darker colour for the cornices and Hampton Court for the exposed timber trusses. More analysis is required to confirm the colour scheme;</p>	3.84		NCA
<ul style="list-style-type: none"> • 	<p>First Floor Spaces – Front Pavilion</p> <p>Opportunities are available for painting interior walls and ceilings (already painted) and other painted details in appropriate colours that are respectful to the interiors of the 1888 era;</p>			NCA
<ul style="list-style-type: none"> • 	<p>Other Painted Internal Walls</p> <p>Opportunities are available for painting interior walls and ceilings (already painted) and other painted details in appropriate colours that are respectful to the interiors of the 1888 era;</p>			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
6.3.6	EARLY & PROPOSED SIGNAGE			
•	Early Significant Signage Retain early signage in mining exchange hall, including (but not limited to) the incised panels below the clerestorey windows and on the first floor of the west wall, and the painted booth numbers within the fanlights of the trading booths;	3.70-3.71 3.73		NCA
•	Proposed Signage Any proposed signage should allow the significant characteristics of the Exchange Building to be the dominant features and should be reversible (no new signage should be painted on unpainted surfaces). The design of any new interior signage should be contemporary and yet respectful to the architectural qualities of the place and there are no opportunities for permanent internally illuminated, neon and flashing signs. Consideration could be given to mobile free standing signage or temporary signage, depending on the building use; If the panelled timber and glazed booth partitions are reconstructed, opportunities may be available for temporary signage on the new glazing of the partitions, depending on the building use;			NCA
6.3.7	HEATING & MECHANICAL AIR VENTILATION			
•	The existing gas heaters in the Exchange Hall (space H01) are acceptable in the short term. Opportunities are available for the removal of these heaters – see Section 6.4.16 for further details;	3.60		NCA
•	The existing heat banks in the Call Room (space CR01) have a considerable impact on the original detailing and features of this space. Consideration could be given for the removal of this heating system and the introduction of hydronic heating. An acceptable alternative may be mobile gas heater stands that can be stored away when not in use;			NCA
•	Opportunities are available for restoring the fireplace for use. Consideration needs to be given to the neighbouring new University of Ballarat Building on the north side – see Section 6.4.45 for further details;	3.87		NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
6.3.8	OPENINGS IN SIGNIFICANT WALLS			
•	Original interior doors should not be removed or relocated. The introduction of new doorways in significant walls should not be undertaken if an existing doorway can be adapted;			NCA
•	There are opportunities in some spaces for the introduction of new openings. Although, the most ideal heritage outcome is to retain all significant walls. Where there may be opportunities to ensure the long term viability and sustainability of the place if additional functional spaces are provided, the possibly may be considered.			NCA
	No new openings should be considered on walls that lead into stairs, halls or corridors.			
	For those spaces where new openings may be possible, the openings should be introduced as single or double door openings, or if absolutely necessary, larger openings. Whether a doorway or larger opening, the introduced opening should be no higher than door head height, allowing for the retention of significant wall nibs. This will provide an appreciation of the historic internal layout through evidence of some remaining upper original wall. For any load bearing walls, it is further recommended that advice from a suitably qualified heritage engineer be sought prior to the introduction of new openings, to ensure satisfactory structure stability.			
	Those spaces where new openings may be considered in original/early walls fabric include the eastern booths (spaces B12-13), toilets and passage (spaces T02-03, 8a-b), and the first floor offices (spaces FF6-10);			
	Given the highly intact nature of the trading booths off the Exchange Hall, the internal walls between the booths should be retained without any additional openings;			

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
<p>6.3.9</p> <ul style="list-style-type: none"> • 	<p>ARCHAEOLOGICAL ISSUES</p> <p>According to the 'Camp Street Precinct, Ballarat: Conservation Management Plan' (November 1999) prepared by Allom Lovell and Associates, the Mining Exchange building (including the Call Room) have moderate-high archaeological potential. The Report continues:</p> <p>"The current buildings are partially situated on the site of former stores, gaol, gaolkeeper's lodge and telegraph office associated with the Military Camp (c. 1850s-1860s). The archaeological imprint of these timber buildings is considered to be moderate. The main exchange hall is considered an area of high archaeological potential ... This space potentially contains evidence relating to significant structures associated with the military camp (eg. stores, gaol and gaol keeper's lodge) and other early public buildings. The building was constructed in 1887-1889, and does not appear to have been significantly altered with the exception of internal partitioning, resurfacing and potentially service conduits. As a result, the sub-surface remains of these structures may be good condition, when the extensive internal space provides an opportunity for open area excavation not available in other buildings along Lydiard Street. The lack of subsequent disturbance may have result in suitable conditions for the preservation of low imprint structures (eg. 1852-1856).</p> <p>The precise extent of sub-floor disturbance inside this building remain to be determined, and could form a useful goal for a sub-surface testing prior to systematic excavation."</p> <p>"Although the construction of the extant Victorian building has undoubtedly compromised the integrity of the remains associated with these earlier structures, it is probable that substantial archaeological deposits may be preserved between wall footings and service trenches, particularly in the open space of the main exchange room."</p> <p>The consequence of the above is that perhaps any excavation would need to be done in such a manner as to not damage potential archaeological items.</p>			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick (✓))	Cost Estimate (Works Only) NCA = no cost allowed
6.4	MODERATE-HIGH INTEGRITY SPACES			
	<i>Generally, a limited number of opportunities are available for refurbishment and/or reversal of "introduced" or "recent" details. Significant "original" or "early" fabric and features should be retained. Where specified, introduced fabric should be retained, as it represents a reconstruction of original fabric or now contributes to the integrity of the space.</i>			
6.4.1	SPACE FG02 (STORE)			
A.	RECOMMENDATIONS			
•	This space was not accessible.			NCA
6.4.2	SPACE FG03a (SHOP)			
A.	RECOMMENDATIONS			
•	Retain original (1888) stained beaded edged timber lining board ceiling with scotia mould cornice;			NCA
•	Retain hard plaster walls;			NCA
•	Retain original (1888) moulded timber skirting boards (medium height);			NCA
•	Retain original (1888) timber floor boards with introduced carpet over;			NCA
•	Retain original (1888) moulded timber window and door architraves;			NCA
•	Retain reconstructed original (1888) six panel timber exterior door;			NCA
•	Retain original (1888) window staff moulds;			NCA
•	Retain original (1888) timber framed round arched shopfront window;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick (✓))	Cost Estimate (Works Only) NCA = no cost allowed
6.4.3	SPACE FG03b			
A.	RECOMMENDATIONS			
•	Retain original (1888) stained beaded edged timber lining board ceiling with scotia mould cornice;			NCA
•	Retain hard plaster walls;			NCA
•	Retain original (1888) moulded timber skirting boards (medium height);			NCA
•	Retain original (1888) timber floor boards with introduced carpet over;			NCA
•	Retain original (1888) moulded timber window and door architraves;			NCA
6.4.4	SPACE FG04a (SHOP)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged timber lining board ceiling;			NCA
•	Retain hard plaster walls;			NCA
•	Retain early (c.1900) timber framed wall screen with stop chamfered corners and patterned white glazing and blue and red coloured glass;			NCA
•	Retain original (1888) moulded timber skirtings (medium height);			NCA
•	Retain original (1888) timber floor boards with introduced carpet over;			NCA
•	Retain original (1888) round arched timber framed shopfront window;			NCA
•	Retain reconstructed original (1888) six panel timber exterior door;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick (✓))	Cost Estimate (Works Only) NCA = no cost allowed
6.4.5	SPACE FG04b (SHOP)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged timber lining board ceiling;			NCA
•	Retain hard plaster walls;			NCA
•	Retain early (c.1900) timber framed wall screen with stop chamfered corners and pattern white glazing and blue and red coloured glass;			NCA
•	Retain original (1888) moulded timber skirtings (medium height);			NCA
•	Retain original (1888) timber floor boards;			NCA
•	Retain original (1888) moulded timber window architraves;			NCA
•	Retain original (1888) timber framed double hung window with introduced security grill. Opportunities are available to remove the introduced security grill;			NCA
•	Retain original (1888) Chubb Security Vault – has the date 1888 on the front door;			NCA
•	Retain original (1888) small round arched door opening on north wall (east end) that provides access into the entrance lobby/stair hall (space FG05);			NCA
6.4.6	SPACE FG05 (ENTRANCE LOBBY/STAIR HALL)			
A.	RECOMMENDATIONS			
•	Retain original (1888) lath and plaster ceiling;	3.30		NCA
•	Retain original (1888) plaster ogee cornice;	3.30		NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain hard plaster walls;	3.31-3.32		NCA
•	Retain original (1888) rendered skirtings;	3.31-3.32		NCA
•	Retain original (1888) round arched timber framed double hung window with bluestone sill;	3.31		NCA
•	Retain original (1888) six panelled timber door on east wall (east side of stairs);	3.35		NCA
•	Retain early altered four panelled timber doors;	3.31-3.33		NCA
•	Retain original (1888) four panelled timber door (east wall);	3.35		NCA
•	Retain original (1888) timber framed round arched transom windows to door openings;	3.31-3.33		NCA
•	Retain original (1888) timber staircase with elaborate timber balusters;	3.36-3.37		NCA
•	Retain original (1888) [?] ceiling access hatch with moulded timber architraves;	3.30		NCA
•	Retain the original (1888) bluestone sill to the blocked up window (north wall);	3.32		NCA
•	Retain original bluestone flag floor under the carpet and asphalt surface (immediately east of the stairs);	3.35		NCA
B.1	SPACE FG05: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Investigate the causes of the condensation from the neighbouring café which appears to be causing minor falling damp on the north wall, upper north-east corner. Opportunities may be available to reconfigure some of the operations or services within the café to reduce the incidence of steam and/or warm air from entering the lobby;	3.31-3.32	✓	NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick (✓))	Cost Estimate (Works Only) NCA = no cost allowed
6.4.7	SPACES FF01-02 (OFFICES)			
A.	RECOMMENDATIONS			
•	Retain replastered original (1888) hard plaster and lath and plaster walls;	3.344		NCA
•	Retain original (1888) or reconstructed moulded timber skirtings;	3.45		NCA
•	Retain original (1888) timber floor boards;			NCA
•	Retain original (1888) timber framed double hung windows (east wall);	3.45		NCA
•	Retain original (1888) four panelled timber doors;			NCA
•	Retain original (1888) moulded timber window and door architraves;	3.45		NCA
•	Retain two original (1888) but altered skylights;	3.44, 3.46		NCA
6.4.8	SPACES FF04-05 (OFFICES)			
A.	RECOMMENDATIONS			
•	Retain original (1888) ceiling ventilation opening with bolection moulded framed and galvanised hood;	3.48		NCA
•	Retain replastered original (1888) hard plaster and lath and plaster walls;	3.50-3.52		NCA
•	Retain original (1888) and introduced moulded timber skirtings (medium height) (the introduced moulded timber skirtings appear to be a replica/reconstruction of the original skirting);	3.50		NCA
•	Retain original (1888) timber floor boards;			NCA
•	Retain original (1888) timber framed two paned double hung windows;	3.51-3.52		NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) moulded timber window and door architraves;	3.50-3.51		NCA
•	Retain original (1888) four panelled timber doors with transom windows over east doors;	3.51		NCA
•	Retain altered original (1888) round-arched fireplace and projecting chimney breast with staff moulds (north wall);	3.49		NCA
6.4.9	SPACE FF06 (OFFICE)			
A.	RECOMMENDATIONS			
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain replastered original (1888) hard plaster and lath and plaster walls;	3.53		NCA
•	Retain original (1888) and introduced moulded timber skirtings (medium height) (the introduced moulded timber skirtings appear to be a replica/reconstruction of the original fabric);	3.53		NCA
•	Retain original (1888) timber floor boards;			NCA
•	Retain original (1888) timber framed two paned double hung window surmounted by a semi-circular window;	3.53		NCA
•	Retain original (1888) moulded timber window and door architraves;	3.53		NCA
•	Retain original (1888) four panelled timber doors with transom windows over east door;			NCA
6.4.10	SPACE FF07 (OFFICE)			
A.	RECOMMENDATIONS			
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain replastered original (1888) hard plaster and lath and plaster walls;	3.54-3.55		NCA

Reference	<p>Recommendations & Short & Long Term Scope of Works & Maintenance</p>	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick (✓))	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) and introduced moulded timber skirtings (medium height) (the introduced moulded timber skirtings appear to be a replica/reconstruction of the original fabric);			NCA
•	Retain original (1888) timber floor boards;			NCA
•	Retain original (1888) timber framed two paned double hung windows;	3.54-3.55		NCA
•	Retain original (1888) moulded timber window and door architraves;	3.54		NCA
•	Retain original (1888) four panelled timber doors (including transom window above east door);			NCA
6.4.11	SPACE FF08 (OFFICE)			
A.	RECOMMENDATIONS			
•	This space was not accessible. It is assumed that this space is similar to Space FF07 and it is recommended that identical fabric to this space be retained;			NCA
6.4.12	SPACE FF09 (OFFICE)			
A.	RECOMMENDATIONS			
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain replastered original (1888) hard plaster and lath and plaster walls;	3.56		NCA
•	Retain original (1888) and introduced moulded timber skirtings (medium height) (the introduced moulded timber skirtings appear to be a replica/reconstruction of the original fabric);	3.56		NCA
•	Retain original (1888) timber floor boards;			NCA
•	Retain original (1888) timber framed two paned double hung window;	3.56		NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) moulded timber window and door architraves;	3.56		NCA
•	Retain original (1888) four panelled timber doors with transom window above;	3.56		NCA
6.4.13	SPACE FF10 (OFFICE)			
A.	RECOMMENDATIONS			
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain original (1888) skylight;			NCA
•	Retain replastered original (1888) lath and plaster walls;			NCA
•	Retain original (1888) and introduced moulded timber skirtings (medium height) (the introduced moulded timber skirtings appear to be a replica/reconstruction of the original fabric);			NCA
•	Retain original (1888) timber floor boards;			NCA
•	Retain original (1888) timber framed two paned double hung window;			NCA
•	Retain original (1888) moulded timber window and door architraves;			NCA
•	Retain original (1888) four panelled timber door with transom window above;			NCA
6.4.14	SPACES FF11 (FOYER & PASSAGES)			
A.	RECOMMENDATIONS			
•	Retain replastered original (1888) lath and plaster walls;			NCA
•	Retain original (1888) and introduced moulded timber skirtings (medium height) (the introduced moulded timber skirtings appear to be a replica/reconstruction of the original fabric);			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) timber floor boards with introduced carpet over;			NCA
•	Retain original (1888) and introduced moulded timber door architraves (the introduced moulded timber architraves appear to be a replica/reconstruction of the original fabric);			NCA
•	Retain original (1888) four panelled timber doors with transom window above;			NCA
•	Retain the v jointed timber lined ceiling above the southern passage (immediately east of Space FF-10) as evidence of previous construction;			NCA
6.4.15	SPACES FF12 (STAIRS AND LANDING)			
A.	RECOMMENDATIONS			
•	Retain early v jointed timber lining boards;	3.40		NCA
•	Retain replastered original (1888) hard plaster south wall (middle landing area);			NCA
•	Retain original (1888) replastered lath and plaster wall (north wall, first floor landing);			NCA
•	Retain original (1888) face brick arches;			NCA
•	Retain original (1888) rendered mouldings to brick arches;	3.41		NCA
•	Retain original (1888) rendered piers supporting arches with stop chamfered corners and projecting cornices;	3.41		NCA
•	Retain original (1888) timber staircase, including the introduced timber balustrade on east side;	3.38		NCA
•	Retain the reconstructed sway bellied cast iron balustrade to curved landing;	3.42		NCA
•	Retain original (1888) timber floor boards;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Monitor gaps between ceiling lining boards. These gaps appear to be part of the natural aging process of the timbers;	3.43		NCA
•	Retain notched ceiling member which may indicate the location of an early screen/partition that has subsequently been removed;	3.43		NCA
6.4.16	SPACE H01 (MINING EXCHANGE HALL)			
A.	RECOMMENDATIONS			
•	Retain original (1888) exposed wrought iron truss system to curved roof;	3.57		NCA
•	Retain original (1888) face red brick arched wall construction with bluestone footings, stop chamfered edging to the arcade piers, projecting brick mouldings to the piers, brick voussoirs and rendered springing blocks, rendered keystones, cream brick stringcourses;	3.57		NCA
•	Retain original (1888) brick arched clerestorey lighting surmounted by cream brick cornice;	3.57		NCA
•	Retain original (1888) incised rendered signage panels with early signage of varying eras;	3.62, 3.70-3.73		NCA
•	Opportunities are available to retain the large introduced east arched opening or to reconstruct as two small booth arcades as shown in Figures 2.01-02;	3.62		NCA
•	Retain original (1888) projecting curved stair landing (west wall) with reconstructed sway bellied cast iron balustrade (the balustrade appears to be a reconstruction of the original fabric);	3.67		NCA
•	Retain original (1888) or reconstructed six panelled timber door (west wall, south end) with early signage above;	3.67		NCA
•	Retain early beaded edged timber lined ceiling with scotia mould (northern passage to call room);			NCA
•	Retain early moulded timber door architraves with skirting blocks (northern passage to call room);	3.61		NCA
•	Retain original (1888) three panelled timber double doors, north wall (northern passage to call room);	3.61, 3.80		NCA

Reference	<p>Recommendations & Short & Long Term Scope of Works & Maintenance</p>	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick (✓))	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) beaded edged timber lined stained ceiling with timber quad cornice (rear eastern exit passage);	3.83		NCA
•	Retain introduced pieced-in timber door frame with early [?] three panelled timber double doors having transom window above (rear eastern exit passage);	3.81		NCA
•	Retain original (1888) six panelled timber door, south wall (rear eastern exit passage);			NCA
•	Monitor evidence of movement of the brick arches to the booths as shown in the openings between the infill partitions and fanlights, and the brickwork;			NCA
•	Monitor evidence of some delamination of render in the two western-most signage panels on the south wall (possibly resulting from former roof leakages now resolved);			NCA
•	Monitor evidence of rising damp on concrete drainage sump (north-west corner), particularly after leaking water tap has been repaired;			NCA
•	Monitor of rising damp on lower reaches of brickwork (northern passage to call room);			NCA
•	Retain evidence of early chain device across door opening into call room (northern passage to call room);	3.80		NCA
•	Monitor minor cracking in brick wall, east end (rear eastern exit passage);			NCA
•	Opportunities are available to retain the central subfloor channel with flat metal capping over, taking in gas and electricity ducts for introduced heating. Also retain centrally located tubular steel gas heat stands and heaters in the short term if necessary (see 6.4.16 for further details);	3.65		NCA
•	Opportunities may be available to remove the introduced gas heating stands and heaters from their central locations. Consideration should be given to providing removal gas heating stands from this central location, and/or mobile gas heaters that can be brought in and located depending on the use/function within the space and the need. Mobile heaters could then be stored within the building or off site;	3.58	✓	NCA
•	Opportunities are available to retain the introduced asphalt floor surface and provide temporary fabric coverings as required depending on the uses/functions of the space;	3.60		NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick (✓))	Cost Estimate (Works Only) NCA = no cost allowed
<ul style="list-style-type: none"> • Alternatively, given that the asphalt floor surface has been introduced, opportunities are available to remove the asphalt and replace with a polished concrete surface; 		3.60		NCA
<p>B.1</p>	<p>SPACE H01: SHORT TERM ESSENTIAL WORKS & MAINTENANCE</p>			
<ul style="list-style-type: none"> • Investigate the replacement of the small pendant light fittings with large pendants. These larger light fittings could be a contemporary interpretation of the original gaslights as shown in Figure 2.01. Similar light fittings have been introduced into the Melbourne Exhibition Building and details of these lights might be obtained from the Exhibition Building files at Heritage Victoria. Consideration could also be given to back lighting along the cornice level above the clerestory windows with spot lights. Other discreet permanent or temporary lighting may also be considered throughout the roof truss system, depending on the nature of uses/functions of the space; 		3.57		NCA
<ul style="list-style-type: none"> • Investigate and repair leaking tap near water ponding on asphalt floor in north-west corner; 		3.78	✓	\$260
<ul style="list-style-type: none"> • Paint introduced replica of brickwork to capital of pier constructed in plywood in a colour similar to the original rendered capitals adjacent 		3.72	✓	\$190
<ul style="list-style-type: none"> • Remove introduced timber shelving over original (1888) round arched timber framed double hung window (west wall, north end) and clean and repair window opening (if necessary) and brick wall; 		3.68	✓	\$580
<ul style="list-style-type: none"> • Clean the water-stained timber lined ceiling (northern passage to call room); 			✓	\$1040
<ul style="list-style-type: none"> • The introduced concrete floor of the large rear (eastern space) (space B15) is possibly causing the rising damp and deterioration of the northern brick wall of the rear eastern exist passage. This space once had a timber floor that allowed for subfloor ventilation of that kept the base of the brick wall dry. The introduced concrete slab has possibly greatly reduced the ventilation required. Physical evidence suggests that waterproofing plastic was laid under the concrete slab, for there appears to be no signs of dampness on the floor itself. However, there may not have been waterproofing membrane introduced between the concrete slab and the original brick wall. Engage a heritage engineer to determine the most appropriate course of action. This may involve the introduction of a membrane between the concrete slab and the brick wall, or the introduction of a damp proof course in the brick wall; 				NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Repair loose timber quad ceiling cornice, west end (rear eastern exit passage);	3.83	✓	\$210
6.4.17	SPACE B01 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged stained timber lining board ceiling with scotia mould cornice;			NCA
•	Retain original (1888) ceiling ventilation opening with galvanised hood and timber bolection moulding;			NCA
•	Retain hard plaster walls;			NCA
•	Retain original (1888) plaster wall vent (north wall);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) timber wall partition stiles below fanlight;			NCA
•	Retain exposed painted brickwork and hard plaster lined wall nib (west wall), which indicates evidence of previous door opening with transom window and moulding above;			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.	SPACE B01: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric over timber lined ceiling. If necessary, stain ceiling to match other existing intact stained timber lined ceilings;		✓	\$350
6.4.18	SPACE B02 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain hard plaster walls;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain introduced moulded timber skirtings (low height) as these skirtings appear to reflect the original fabric;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) plaster wall vent (north wall);			NCA
•	Retain holes in skirtings for subfloor ventilation;			NCA
B.	SPACE B02: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on timber lined ceiling;		✓	\$180
•	Reconstruct beaded edged timber lined ceiling (with timber scotia mould cornice), ceiling ventilation opening with bolection moulded frame and galvanised hood within. Existing original/early ceiling details in adjacent booths should be used as a guide to the reconstruction;	As 3.83, 3.74		\$2,300
6.4.19	SPACE B03 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain hard plaster walls;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) horizontal member as part of the framing below fanlight;			NCA
•	Retain original (1888) plaster wall vent (north wall);			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
B.1	SPACE B03: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on ceiling;		✓	\$180
•	Reconstruct beaded edged timber lined ceiling (with timber scotia mould cornice), ceiling ventilation opening with bolecion moulded frame and galvanised hood within. Existing original/early ceiling details in adjacent booths should be used as a guide to the reconstruction;			\$2,300
•	Repair hole in asphalt surface outside booth;			\$230
6.4.20	SPACE B04 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain hard plaster walls;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) horizontal member as part of the framing below fanlight;	3.74		NCA
•	Retain original (1888) plaster wall vent (north wall);	3.74		NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B04: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on ceiling;		✓	\$180
•	Reconstruct beaded edged timber lined ceiling (with timber scotia mould cornice), ceiling ventilation opening with bolecion moulded frame and galvanised hood within. Existing original/early ceiling details in adjacent booths should be used as a guide to the reconstruction;			\$2,300

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
6.4.21	SPACE B05 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain hard plaster walls;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) horizontal member as part of the framing below fanlight;			NCA
•	Retain original (1888) plaster wall vent (north wall);			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B05: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on ceiling;		✓	\$180
•	Reconstruct beaded edged timber lined ceiling (with timber scotia mould cornice), ceiling ventilation opening with bolection moulded frame and galvanised hood within. Existing original/early ceiling details in adjacent booths should be used as a guide to the reconstruction;			\$2,300
6.4.22	SPACE B06 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain hard plaster walls;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) horizontal member as part of the framing below fanlight;			NCA
•	Retain original (1888) plaster wall vent (north wall);			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B06: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on ceiling;		✓	\$180
•	Reconstruct beaded edged timber lined ceiling (with timber scotia mould cornice), ceiling ventilation opening with bolection moulded frame and galvanised hood within. Existing original/early ceiling details in adjacent booths should be used as a guide to the reconstruction;			\$2,300
6.4.23	SPACE B07 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain hard plaster walls;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) plaster wall vent (north wall);			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B07: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on ceiling;		✓	\$180
•	Reconstruct beaded edged timber lined ceiling (with timber scotia mould cornice), ceiling ventilation opening with bolection moulded frame and galvanised hood within. Existing original/early ceiling details in adjacent booths should be used as a guide to the reconstruction;			\$2,300

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
6.4.24	SPACE B08 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain hard plaster walls;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) plaster wall vent (north wall);			NCA
•	Retain early moulded timber door architrave (east wall);			NCA
•	Retain early four panelled timber door (east wall);			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
•	Retain introduced Tobin ventilation tube in north-east corner;			NCA
•	Monitor horizontal hairline wall crack;			NCA
B.1	SPACE B08: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on ceiling;		✓	\$180
•	Reconstruct beaded edged timber lined ceiling (with timber scotia mould cornice), ceiling ventilation opening with bolection moulded frame and galvanised hood within. Existing original/early ceiling details in adjacent booths should be used as a guide to the reconstruction;			\$2,300
•	Repair holes in asphalt floor surface of hall abutting booth;			\$230

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick (✓))	Cost Estimate (Works Only) NCA = no cost allowed
6.4.25	SPACE B09 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling with scotia mould cornice;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls;			NCA
•	Retain introduced timber framed panelled timber and glazed partition wall as it appears to be a reconstruction of the original fabric;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain introduced floor ventilation opening (south-east corner);			NCA
•	Retain introduced Tobin ventilation tube (north-east corner);			NCA
B.1	SPACE B09: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Repair hole in plaster wall (west wall);		✓	\$240
6.4.26	SPACE B10 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling with scotia mould cornice;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain timber framed panelled timber and glazed partition wall as it appears to be a reconstruction of the original fabric;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain introduced Tobin ventilation tube (north-east corner);			NCA
6.4.27	SPACE B11 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling with scotia mould cornice;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (the east wall is dog-legged);			NCA
•	Retain introduced timber framed panelled timber and glazed partition wall as it appears to be a reconstruction of the original fabric;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) four panelled timber door with original door furniture (north wall);			NCA
B.1	SPACE B11: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Repair holes and reveals in walls;		✓	\$300
6.4.28	SPACE B12 (STORE)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling with scotia mould cornice;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame;			NCA
•	Retain hard plaster walls;			NCA
•	Retain original (1888) moulded timber skirtings (low height);			NCA
•	Retain early timber floor boards;			NCA
•	Retain original (1888) window opening with early timber framed two paned double hung window (east wall);			NCA
•	Retain original (1888) moulded timber window and door architraves (with original skirting blocks to door architraves);			NCA
•	Retain original (1888) six panelled timber door with original round-arched fanlight;			NCA
•	Retain original (1888) plaster wall vent (east wall);			NCA
6.4.29	SPACE B13 (KITCHEN)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling with scotia mould cornice;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (north, south and east walls);			NCA
•	Retain original (1888) timber framed panelled timber and glazed partition wall (west side) with six panelled timber door;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight (west side);			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) moulded timber skirtings (low height);			NCA
•	Retain early timber floor boards;			NCA
•	Retain original (1888) window opening with early timber framed two paned double hung window (east wall);			NCA
•	Retain original (1888) moulded timber window and door architraves (with original skirting blocks to door architraves);			NCA
•	Retain original (1888) plaster wall vent (east wall);			NCA
•	Monitor hairline wall cracks on east wall;			NCA
6.4.30	SPACE B14 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling with scotia mould cornice;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (north, south and east walls);			NCA
•	Retain original (1888) timber framed panelled timber and glazed partition wall (west side) with six panelled timber door;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight (west side);			NCA
•	Retain original (1888) moulded timber skirtings (low height);			NCA
•	Retain original (1888) window opening with early timber framed two paned double hung window (east wall);			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) moulded timber window and door architraves (with original skirting blocks to door architraves);			NCA
•	Retain original (1888) plaster wall vent (east wall);			NCA
B.1	SPACE B14: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Repair hole in floor (north-west corner);		✓	\$240
•	Remove temporary board over glazed partition;		✓	\$60
6.4.31	SPACE B16 (ROOM A)			
A.	RECOMMENDATIONS			
•	This space was not accessible. Retain all original and early fabric.			NCA
6.4.32	SPACE B17 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling partially covered in introduced fabric;			NCA
•	Retain original (1888) ceiling ventilation opening;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain original (1888) plaster wall vent;			NCA
•	Retain early moulded timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B17: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Reconstruct galvanised hood to ceiling ventilation opening;		✓	\$200
•	Clean water staining on floor, given that it does not appear to be an ongoing problem;		✓	\$120
6.4.33	SPACE B18 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain original (1888) plaster wall vent;			NCA
•	Retain early moulded timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) timber wall partition stiles below fanlight (vertical members only);			NCA
•	Opportunities are available to retain the introduced pendant light;			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
B.1	SPACE B18: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced tiled black and white linoleum floor and expose timber floor boards;		✓	\$220
•	Clean water staining from timber lined ceiling given that the falling damp problem (possibly caused by previous leaking roof) appears to have been resolved;		✓	\$160
6.4.34	SPACE B19 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain original (1888) plaster wall vent;			NCA
•	Retain early moulded timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) timber wall partition stiles below fanlight (vertical members only);			NCA
•	Opportunities are available to retain the introduced pendant light;			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
6.4.35	SPACE B20 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls) with introduced fabric on upper reaches of walls;			NCA
•	Retain original (1888) plaster wall vent;			NCA
•	Retain early moulded timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) timber wall partition stiles below fanlight (vertical members only);			NCA
•	Opportunities are available to retain the introduced pendant light;			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
6.4.36	SPACE B21 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain possible original (1888) beaded edged and stained timber lining board ceiling above;			NCA
•	Retain possible original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) plaster wall vent;			NCA
•	Retain early timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) timber wall partition stiles below fanlight (vertical members only);			NCA
•	Opportunities are available to retain the introduced pendant light;			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B21: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on ceiling and upper walls;		✓	\$500
•	Reconstruct beaded edged timber lined ceiling and scotia mould cornice if no longer extant above introduced fabric;			\$500
•	Reconstruct round ceiling ventilation opening with bolection moulded frame and galvanised hood within if no longer extant above introduced fabric;			\$1,800
6.4.37	SPACE B22 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain original (1888) plaster wall vent;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain early moulded timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) timber wall partition stiles below fanlight (vertical members only);			NCA
•	Opportunities are available to retain the introduced pendant light;			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B22: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on ceiling;		✓	\$180
6.4.38	SPACE 23 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling above introduced fabric on ceiling;			NCA
•	Retain possible original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain original (1888) plaster wall vent;			NCA
•	Retain early moulded timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) timber wall partition stiles below fanlight (vertical members only);			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick (✓))	Cost Estimate (Works Only) NCA = no cost allowed
•	Opportunities are available to retain the introduced pendant light;			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B23: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Reconstruct round ceiling ventilation opening with bolection moulded frame and galvanised hood within if no longer extant above introduced fabric;			\$2,300
6.4.39	SPACE B24 (BOOTH)			
A.	RECOMMENDATIONS			NCA
•	Retain original (1888) beaded edged and stained timber lining board ceiling;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain original (1888) plaster wall vent;			NCA
•	Retain early moulded timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) timber wall partition stiles below fanlight (vertical members only);			NCA
•	Opportunities are available to retain the introduced pendant light;			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
B.1	SPACE B24: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on ceiling;		✓	\$180
6.4.40	SPACE B25 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain original (1888) plaster wall vent;			NCA
•	Retain early moulded timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) timber wall partition stile below fanlight (vertical east member only);			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B25: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on ceiling;		✓	\$180

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
6.4.41	SPACE B26 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling;			NCA
•	Retain possible original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain original (1888) plaster wall vent;			NCA
•	Retain early moulded timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) timber wall partition stiles below fanlight (vertical members only);			NCA
•	Opportunities are available to retain the introduced pendant light;			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B26: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on ceiling and walls;		✓	\$500
•	Reconstruct round ceiling ventilation opening with bolection moulded frame and galvanised hood within if no longer extant above introduced fabric;			\$1,800

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
6.4.42	SPACE B27 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain original (1888) plaster wall vent;			NCA
•	Retain early moulded timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) timber wall partition stiles below fanlight (vertical members only);			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B27: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Restore and repair damaged the timber ceiling boards which are stressed and falling away from ceiling;		✓	\$700
6.4.43	SPACE B28 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain original (1888) plaster wall vent;			NCA
•	Retain early moulded timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Opportunities are available to retain the introduced pendant light;			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B28: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Restore and repair ceiling boards that are loose and falling away;		✓	\$700
•	Reinstate dislodged galvanised hood to ceiling ventilation opening;		✓	\$150
6.4.44	SPACE B29 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling;			NCA
•	Retain possible original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain early moulded timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) timber wall partition stiles below fanlight (vertical members only);			NCA
•	Opportunities are available to retain the introduced pendant light;			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B29: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Restore and repair ceiling boards due that are loose and falling away;		✓	\$700
6.4.45	SPACE CR01 (CALL ROOM)			
A.	RECOMMENDATIONS			
•	Retain original (1888) covered, beaded edged timber lined ceiling with ogee mould timber cornice;	3.84-3.86		NCA
•	Retain original (1888) exposed turned timber Queen Post roof trusses;	3.85-3.86		NCA
•	Retain original (1888) elongated lantern light;	3.85-3.86		NCA
•	Retain hard plaster walls;	3.84		NCA
•	Retain introduced moulded timber skirtings (high height) given that they reflect the original skirting design;	3.84		NCA
•	Retain timber boarded floor surface;	3.84		NCA
•	Retain original (1888) timber framed hopper sash lantern windows;	3.85		NCA
•	Retain original (1888) moulded timber door architraves;	3.88, 3.90		NCA
•	Retain original (1888) three panelled timber double doors (south wall);	3.88		NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain early panelled timber doors (south and west walls);	3.90		NCA
•	Retain round-arched marble fireplace (north wall);	3.87		NCA
•	Retain marble mantel;	3.87		NCA
•	Retain original (1888) basalt hearth;	3.87		NCA
•	Retain original (1888) plaster wall vents;			NCA
•	Opportunities are available to replace the introduced fluorescent light fittings with more appropriate lights. A contemporary interpretation of the original gas lights that once lit the Call Room (see Figure 2.03) could be considered. Additional discreet lighting could also be attached to the timber roof trusses (attached in a reversible manner);	3.84		NCA
B.1	SPACE CR01: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Repair and reconstruct broken plaster wall vents;		✓	\$460
•	Repair and reconstruct door frame to double doors (south wall) by re-attaching loose damaged timber door strip (now resting on mantel). Relocate deadbolt to more traditional location between the lower and middle door panels;	3.89	✓	\$600
6.4.46	SPACE T02 (OFFICE)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged timber lining board ceiling;			NCA
•	Retain hard plaster walls;			NCA
•	Retain original (1888) moulded timber skirtings (low height);			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) moulded timber window and door architraves;			NCA
•	Retain early timber framed two paned double hung window sheeted over;			NCA
•	Retain original (1888) four panelled timber door;			NCA
B.1	SPACE T02: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove sheeting from double hung window and restore and repair;		✓	\$510
•	Remove introduced black plastic covering on ceiling and restore and repair;			\$750
•	Engage a specialist to investigate the need for a damp proof course in west wall to reduce deterioration caused by rising damp;			NCA
6.4.47	SPACE T03 (PASSAGE)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged timber lining board ceiling (no cornices);	3.91		NCA
•	Retain original (1888) painted brick walls;	3.91-3.92		NCA
•	Retain moulded plaster skirtings;			NCA
•	Retain original (1888) six panelled timber doors (south and west walls);	3.91		NCA
•	Retain original (1888) four panelled timber doors (north wall and doorway into office, space T02);			NCA
B.1	SPACE T03: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Engage a specialist to investigate the need for a damp proof course in lower reaches of walls to reduce deterioration caused by rising damp;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Repair and restore damaged brick corner of wall caused by electrical conduit installation. Investigate measures for removing introduced exposed service conduits on east wall and relocating in less conspicuous locations;	3.93		\$200
6.5	MODERATE INTEGRITY SPACES			
	<i>Generally, some opportunities are available for the refurbishment and/or reversal of "introduced" or "recent" details. Significant "original" or "early" fabric and features should be retained. Introduced fabric should be retained where specified.</i>			
6.5.1	SPACE B08a (LADIES' TOILETS)			
A.	RECOMMENDATIONS			
•	Retain introduced stained beaded edged timber lining board ceiling;	3.75		NCA
•	Retain early ceiling ventilation opening with introduced galvanised hood and bolection moulded frame;	3.75		NCA
•	Retain replastered original (1888) hard plaster walls (north, east and west);	3.77		NCA
•	Retain introduced timber framed panelled timber and glazed partition wall with six panelled timber door;	3.76		NCA
•	Retain introduced timber floor boards;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;	3.76		NCA
6.5.2	SPACE B08b (MEN'S TOILETS)			
A.	RECOMMENDATIONS			
•	Retain introduced stained beaded edged timber lining board ceiling with scotia mould cornice;			NCA
•	Retain early ceiling ventilation opening with stained bolection moulded frame and galvanised hood;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain replastered original (1888) hard plaster walls (north, east and west);			NCA
•	Retain introduced timber framed panelled timber and glazed partition wall with six panelled timber door;			NCA
•	Retain introduced timber floor boards;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
6.6	LOW INTEGRITY SPACES			
•	<i>Many opportunities are available for refurbishment and/or reversal of "introduced" or "recent" details. Significant "original" or "early" fabric and features (including original spatial form) should be retained. Introduced fabric should be retained where specified.</i>			
6.6.1	SPACE FF03 (KITCHEN & TOILETS)			
A.	RECOMMENDATIONS			
•	Retain original (1888) hard plaster north wall;			NCA
•	Retain original (1888) lath and plaster south and west walls;			NCA
•	Retain original (1888) timber floor boards with introduced linoleum over;			NCA
•	Retain original (1888) timber framed double hung window (east wall);	3.47		NCA
6.6.2	SPACE B15 (STORE)			
A.	RECOMMENDATIONS			
•	Retain introduced beaded edged and stained timber lining board ceiling;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain hard plaster walls (north and south walls);			NCA
B.1	SPACE B15: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced sheeted partition wall (west wall) with large central door opening and flanking fixed glazed windows. Opportunities are available to: 1. establish a large open space within the arch or; 2. reconstruct two original booth arches;	3.62		\$600 (Option 1 only)
•	The introduced concrete slab floor requires investigation by a heritage engineer, given the evidence of rising damp on the brick work of the rear eastern exit passage (see Section 6.4.16 for further details);			NCA
6.6.3	SPACES B30-31 (FORMER BOOTHS, NOW ELECTRICAL SUBSTATION)			
A.	RECOMMENDATIONS			
•	Retain introduced timber framed panelled timber and glazed partition wall (north side) with six panelled timber door;			
6.6.4	SPACE T01 (FORMER MEN'S TOILETS)			
A.	RECOMMENDATIONS			
•	Retain original (1888) painted brick south and east walls;	3.96		NCA
•	Retain early painted brick west wall;			NCA
•	Retain original (1888) four panelled timber door with timber framed transom window above (south wall);	3.96		NCA
•	Retain original (1888) brass door furniture to panelled door;	3.96		NCA

B.1 SPACE T01: PROVISION OF TOILET FACILITIES

Building Classification

The building Classification has been assumed as Class 9b.

Building Use

The current Australian Building Code was consulted as to the various uses which may be possible for the space. Such uses as Theatre, Art Gallery, Exhibition Area and Museum, Public Hall, Function Room and restaurant were scoped for the various health and amenity requirements. The greatest number of facilities was selected to fulfil the above uses.

Building Floor Area

For the purposes of determining the number of patrons so as to determine the number of facilities required, the Floor area of the Call (Gold) Room was estimated at approximately 200 square metres. The area of the main Mining Exchange Hall was estimated on the central floor area only. The former offices were not seen as part of public usable floor space. The floor area of the Mining Exchange was estimated at approximately 400 square metres. This gives a total of 600 square metres.

Number of Users

Assuming that the patronage at a function would be balanced between the sexes, the facilities were calculated on 300 male and 300 female patrons.

Number of facilities Required

The above maximum number of patrons gives the following requirements

Male	3 closets	4 urinals	3 hand basins
Female	7 closets		3 hand basins

A unisex facility with access for the disabled is also required based on the above figures. This has been confirmed by the City of Ballarat Building Surveyor's Office.

Current Facilities

The current facilities are provided in reconstructed former offices off the main hall. The Male facilities consist of a urinal in a stall, a closet and one hand basin. The Female facilities consist of two closets and a hand basin. These would appear to be in an area which earlier held toilet facilities as there are small windows opening from the space onto the land that forms the west boundary of the site in this location. There is no facility for access by the disabled.

There is also the original toilet block at the north west corner of the Call Room. This was originally a male only facility open to the air. It consisted of a skillion roofed shed off a concrete paved yard. There was a length of open air urinal and three closets with brick walls dividing them. The northern most wall of the last closet has been demolished at some time in the past and the south wall of a new building of the University of Ballarat now forms the northern boundary of the site at this corner. The facilities are derelict in conditions and unusable.

Proposed New Facilities

It is proposed to remove the existing male toilets and return this former office into an enclosed space. It may be useful to retain the hand basin at this time. This should be discussed.

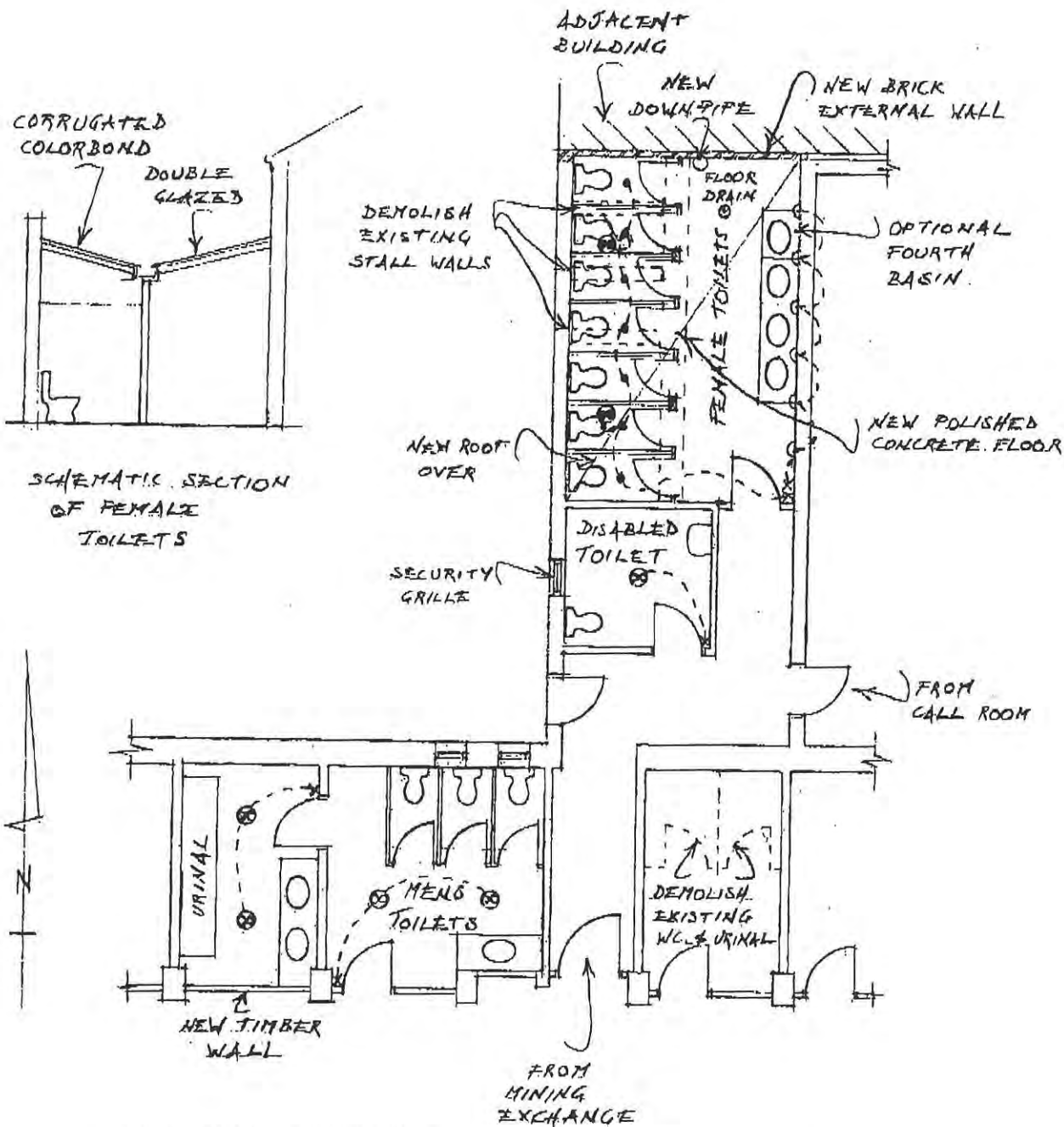
It is proposed to restructure the existing female toilets into the male closet area – three closets plus one hand basin. There is an existing side door linking this space to the western office. It is proposed to turn the adjacent office into the urinal area and provide two of the three hand basins required in this space. This will require the construction of a new timber wall in the opening to the main exchange area.

It is proposed to utilise an existing room at the intersection of the hall from the Call Room and the Exchange Hall as facility with access for the disabled. This is on grade with the main exchange floor and is of a good size and layout for this purpose. This room would require new floor coverings, a security grille to the window, an exhaust fan, new light fittings, new closet and hand basin.

The former external toilet area would be totally refurbished to provide the female toilets. This area would require the construction of a new north wall and a small section of the west wall at the northwest corner, a new treatment to the floor, reproofing and the provision of cubicles, pans, hand basins and taps, lighting and heating. As this has the potential to become a dark and unattractive area it is proposed to retain the shed like appearance of the building and introduce a glass roof or a number of clear glazed skylights into this area. This could produce an attractive and useful space accessible from both major areas in the building. A new polished concrete floor with floor drain, standard toilet partitions (7 No.), three or four hand basins, hand towels/dryers, some form of heating and lighting would also be required.

Refer to attached schematic drawing for further details.

TOTAL ESTIMATED COST FOR PROVISION OF TOILET FACILITIES: \$99,000



ELECTRICAL LEGEND

- DOWNLIGHT
- ↓ WALL MOUNTED LIGHT
- ⊗ FAN LIGHT
- ⊙ FAN
- x SWITCH

SKETCH DESIGNS FOR PROPOSED TOILET FACILITIES

TO FORMER BALLARAT MINING EXCHANGE 12 LYDIARD ST. NTH.

NOT TO SCALE

WENDY JACOBS ARCHITECT
 PO BOX 193
 BALLARAT 3353
 PH: 5332 9182
 REGISTERED ARCHITECT 3067
 ISSUED 29/07/2003

6.7 PRELIMINARY COST PLAN (Short Term Essential Works Only)

Budget Estimates: Notes for Guidance

Introduction

The whole of the works indicated in the *Conservation Management Plan* are classified as SHORT TERM ESSENTIAL.

Indicative or Preliminary Nature of Estimates

The estimates for work in this cost plan are indicative of the likely cost of the work under each heading in the *Conservation Management Plan*. This cost plan and its estimates are based on very preliminary information. The estimates are based upon the outline information provided and described in the *Conservation Management Plan*. These costs should be taken as a guide to the final cost of the works, but they are likely to be subject to change depending on the more detailed investigations and decisions made during later site investigations or site work.

Terms

Where the terms, *monitor*, *retain* or *opportunities are available* are used to describe various parts of the building and its interior, it is assumed that little or no work is required to the noted item, space or building element. Therefore, no costs have been identified and the expression *No Costs Allowed (NCA)* are used in the cost plan.

Nature of the Work

The type of work priced in this project in these preliminary estimates contains a great deal of work in and around the existing significant heritage building. The nature of such work is difficult to predict in terms of final content, extent and specification. Whilst every attempt has been made to foresee any potential problems and construction difficulties, pricing this work at this stage may be subject to substantial variation by the time that the work is actually carried out. By its nature predicting the cost and extent of such alterations, renovations and repairs to existing buildings is risky and the client should be aware of these factors when reviewing the cost plan and *Conservation Management Plan*.

Structural Integrity

The cost plan assumes that no major works are required to maintain or rectify the existing structural capacity of the building in its present or proposed uses. Any major structural work arising as a result of the work involved in repairs, demolition, opening up and removal of items as identified in the *Conservation Management Plan* has NOT been

included in this cost plan. Any structural work required and identified in Structural Engineer's report will be in addition to the costs presented in this cost plan.

Statutory Obligations

The client should be aware that the Mining Exchange, Offices, Shops, Call Room and its associated spaces and buildings must comply with all statutory obligations and regulations imposed by the various authorities. These requirements have not been included in these costings. The client may need to take these requirements into account in any future uses, design standards and costings.

The *Conservation Management Plan* has made provision for an additional disabled public toilet. However, no costs have been allowed for the provision of general disabled access beyond that indicated in the *Conservation Management Plan* and this may be required to satisfy the requirements of any local and other authorities.

For the provision of fire exits, refer to Section 6.2.1E of the *Conservation Management Plan*. A Building Surveyor's Report will be required for fire prevention measures throughout the building. No cost allowances have been made for fire prevention and other measures.

Tender Date

A tender date of January 2004 has been assumed and a general completion of the major part of the work has been assumed as mid-2004.

No provision has been made for *rise and fall* (escalation) in building costs or potential tender adjustments beyond June 2004. Allowances for additional costs must be made if the work is completed after this date.

Tendering

The costing of work described in the *Conservation Management Plan* and this cost plan assumes that the individual related items (in type or location) will be aggregated to form a maximum of two contracts; one for the exterior work and the other for the interior work. As the work is all classified as *short term essential* it should be tendered for at the same time. It is not recommended that the work is tendered for in smaller works packages as the client will lose the benefits that a larger scale contract brings in overall supervision, continuity, plant and materials purchase and overall quality and safety control throughout the project.

In addition, it is recommended that any firms invited to tender should have a good reputation for the quality and craftsmanship required for this significant heritage building.

Goods and Services Tax (GST)

It has been assumed that the City of Ballarat is a tax-exempt body not liable for the payment of GST. Therefore, all the costs in this cost plan are exclusive of GST.

If GST is payable by the City of Ballarat, then this tax will be an additional cost to the estimates prepared in this cost plan.

Costs in the *Conservation Management Plan*

The costs indicated for each individual item in the *Conservation Management Plan* are a guide for budgeting purposes. However, a separate allowance for Preliminaries, which includes main contractor allowances for overheads, supervision, scaffolding, temporary works and liaison with the client and consultants, has been made in reporting the final costs. These sums are indicated in the summary of costs at the end of this report.

Exclusions from Estimate

The following have been excluded from this cost plan:

- Goods and Services Tax (GST).
- Ongoing maintenance costs.
- Allowances for *rise and fall* (escalation) from June 2004 to the time when the work actually takes place.
- Any land costs or land acquisition expenses, planning fees, survey fees and the like.
- Professional, project management and any other consultant fees.
- Specialist advisors and the work they may recommend. These advisors may be required to advise on paint colours, rendering mixes, electrical and mechanical systems and work, occupational health and safety issues, fire prevention, archaeologist, independent or in-house building surveyors' assessments of the whole or any part of the buildings and other work.
- Fittings, fitments, loose furniture and equipment.
- Major electrical works and new installations.
- Heating installation or equipment.
- Cooling or air-conditioning installations or equipment.
- Asbestos removal of any kind.

Summaries of Initial Costs
(Based on Tender date of January 2004)

The costs of the works are shown under three headings:

1. Total Exterior Works in <i>Conservation Management Plan</i>	\$41,170
ADD: Builder's Preliminaries + 15%	<u>\$ 6,180</u>
TOTAL EXTERIOR WORKS	<u>\$47,350</u>
2. Total Interior Works in <i>Conservation Management Plan</i>	\$134,300
ADD: Builder's Preliminaries + 15%	<u>\$ 20,150</u>
TOTAL INTERIOR WORKS	<u>\$154, 450</u>
3. TOTAL OF WHOLE WORKS (EXTERIOR AND INTERIOR)	<u>\$201,800</u>

See next page for cost summaries for each of these headings. Further cost breakdowns can be provided upon request.

SUMMARY OF COSTS

ALL WORKS ARE SHORT TERM ESSENTIAL

INTERIOR WORKS	
• SPACE H01	\$2,280
• SPACE B01	\$350
• SPACE B02	\$2,480
• SPACE B03	\$2,710
• SPACE B04	\$2,480
• SPACE B05	\$2,480
• SPACE B06	\$2,480
• SPACE B07	\$2,480
• SPACE B08	\$2,710
• SPACE B09	\$240
• SPACE B11	\$300
• SPACE B14	\$300
• SPACE B17	\$320
• SPACE B18	\$380
• SPACE B21	\$2,800
• SPACE B22	\$180
• SPACE B23	\$2,300
• SPACE B24	\$180
• SPACE B25	\$180
• SPACE B26	\$2,300
• SPACE B27	\$700
• SPACE B28	\$850
• SPACE B29	\$700
• SPACE CR01	\$1,060
• SPACE T02	\$1,260
• SPACE T03	\$200
• SPACE B15	\$600
• SPACE T01: PROVISION OF TOILET FACILITIES	\$99,000
TOTAL INTERIOR WORKS in CMP	\$134,300
• ALLOWANCE FOR PRELIMINARIES/OVERHEADS/SUPERVISION/ TEMPORARY WORKS/SCAFFOLDING +15%	\$20,150
TOTAL INTERIOR WORKS	\$154,450

EXTERIOR WORKS	
• FRONT PAVILION	\$15,760
• MINING EXCHANGE HALL	\$16,710
• CALL ROOM	\$4,350
• TOILETS, OFFICE & PASSAGE WING	\$4,350
EXTERIOR WORKS in CMP	\$41,170
• ALLOWANCE FOR PRELIMINARIES/OVERHEADS/SUPERVISION/ TEMPORARY WORKS/SCAFFOLDING +15%	\$6,180
TOTAL EXTERIOR WORKS	\$47,350

SUMMARY OF ALL WORKS

• TOTAL EXTERIOR WORKS	\$47,350
• TOTAL INTERIOR WORKS	\$154,450
• TOTAL - ALL WORKS (Tender January 2004)	\$201,800

SECTION 8

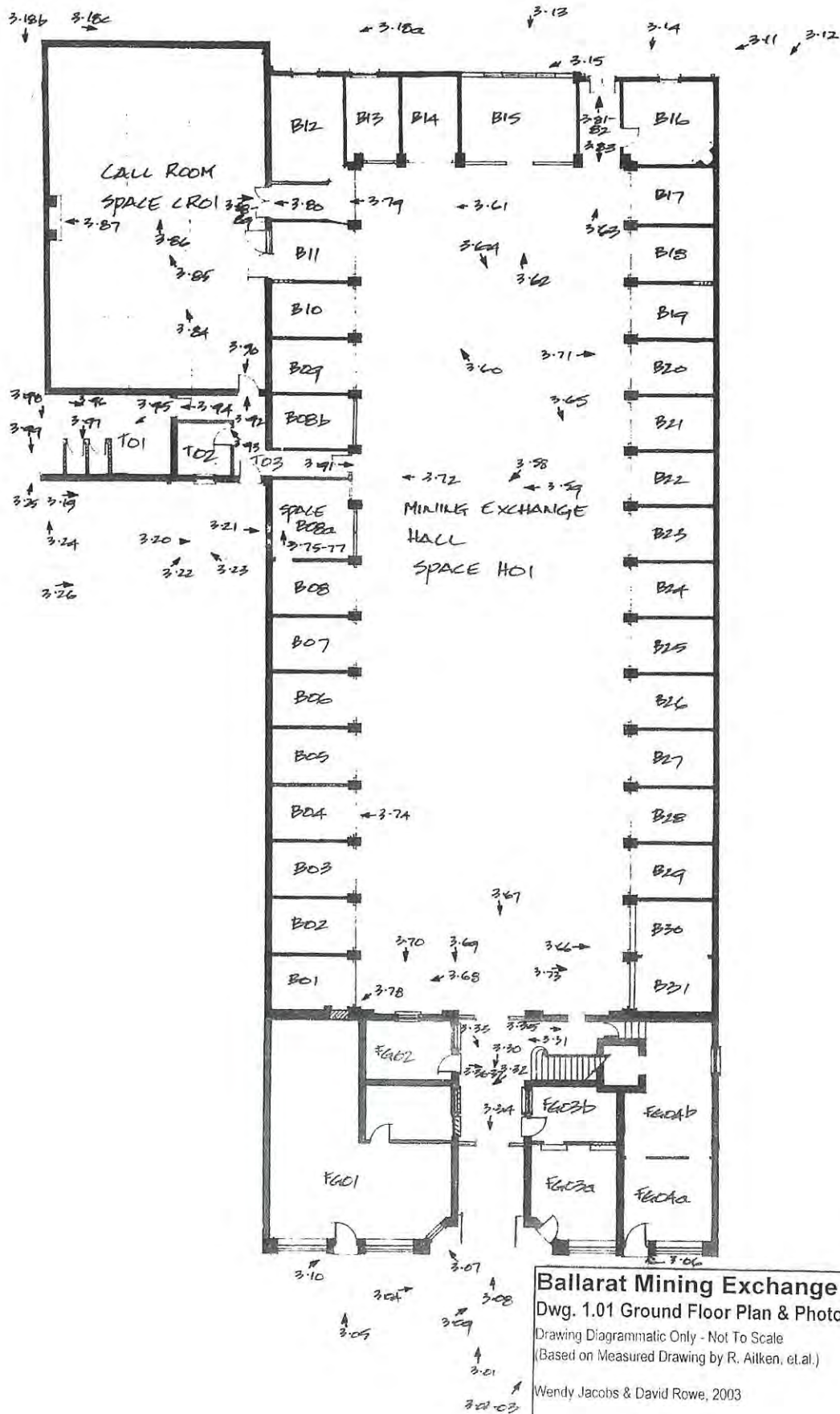
8.0 Appendices

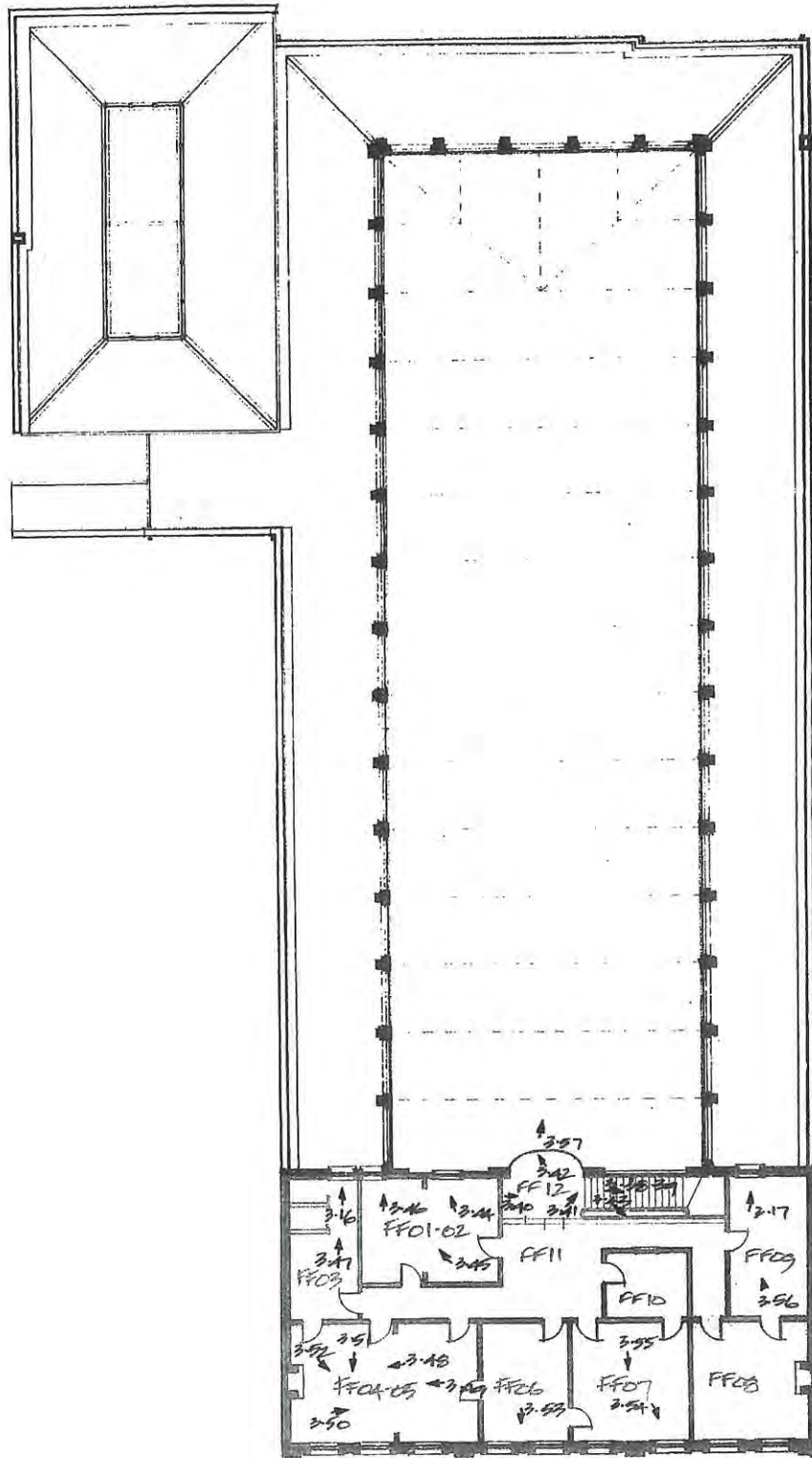
8.01 Floor Plans & Photographic & Integrity Keys

8.02 Historical Figures

8.03 Contemporary Photographs

8.01 Floor Plans & Photographic & Integrity Keys

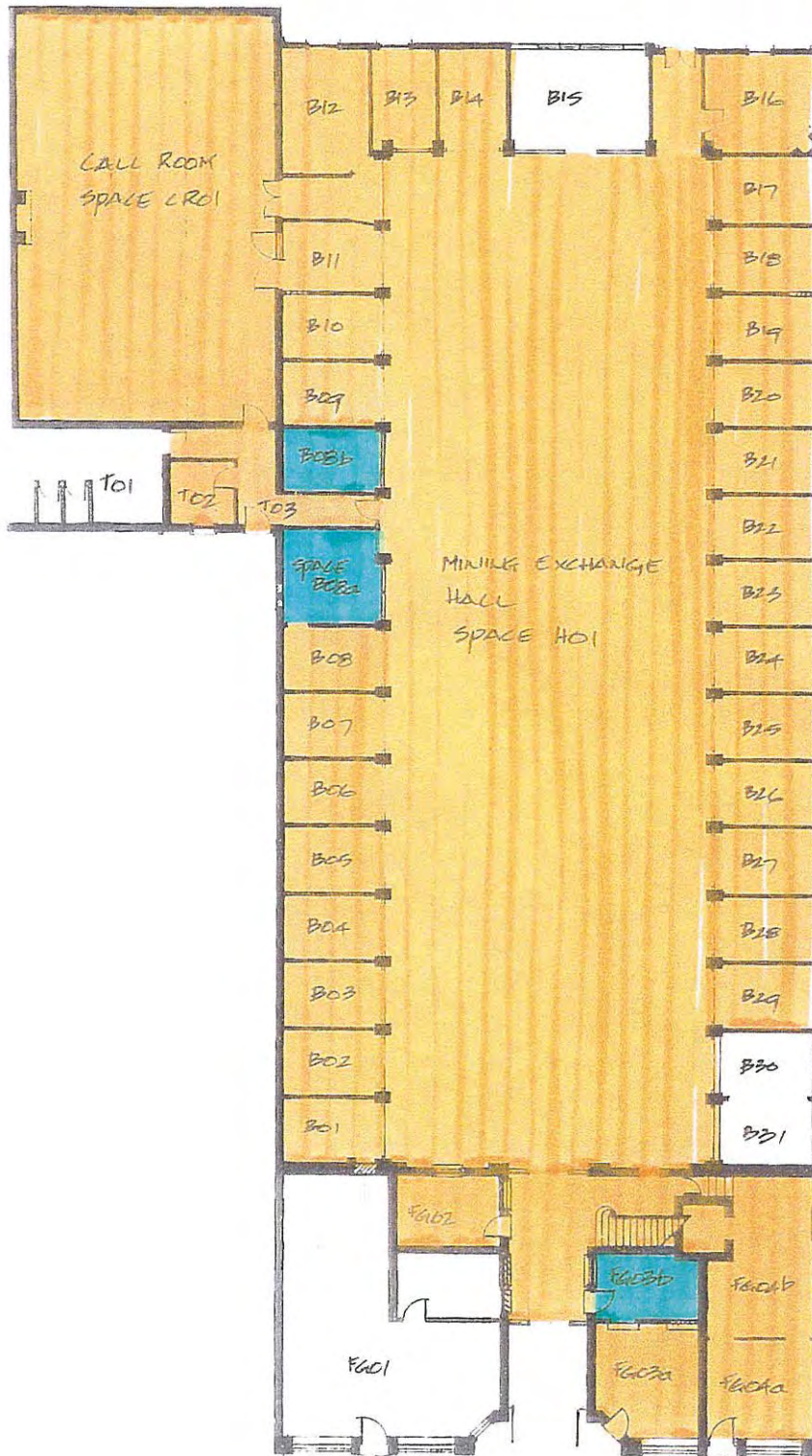




Ballarat Mining Exchange
Dwg. 1.02 First Floor Plan & Photographic Key
Drawing Diagrammatic Only - Not To Scale
(Based on Measured Drawing by R. Aitken, et.al.)

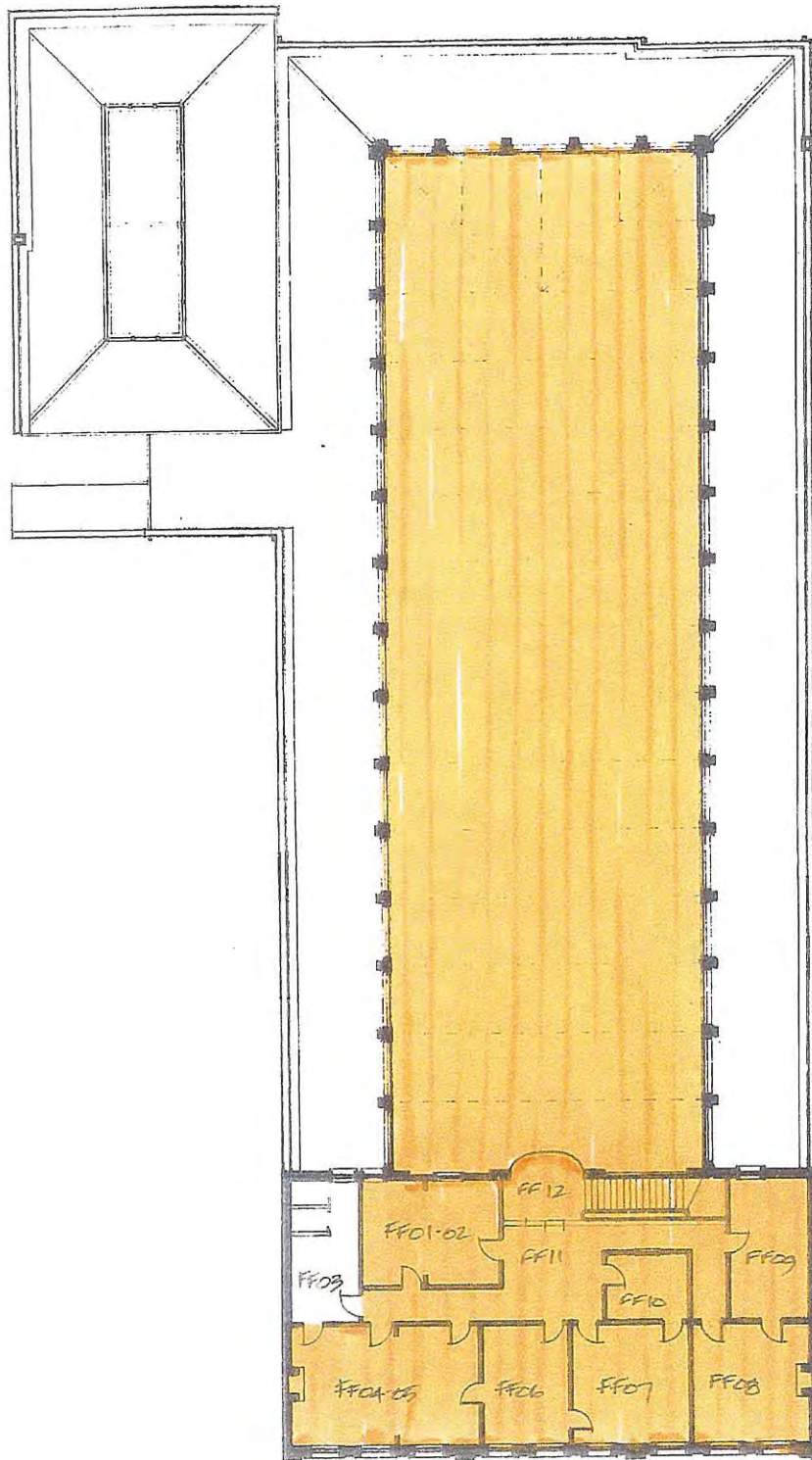
Wendy Jacobs & David Rowe, 2003









- KEY TO SYMBOLS & COLOURS**
- Original/Early Walls
 - Moderate-High Integrity Spaces
The form, construction and details predominantly represent the original/early design.
 - Moderate Integrity Spaces
Apart from some alterations, some details represent the original/early work.
 - Low Integrity Spaces
These spaces have experienced several alterations, & apart from the spatial layout &/or minimal original/detailing, these rooms have little integrity.

Ballarat Mining Exchange
Dwg. 1.03 Ground Floor Integrity Key
 Drawing Diagrammatic Only - Not To Scale
 (Based on Measured Drawing by R. Aitken, et al.)
 Wendy Jacobs & David Rowe, 2003



KEY TO SYMBOLS & COLOURS

-  Original/Early Walls
-  Moderate-High Integrity Spaces
The form, construction and details predominantly represent the original/early design.
-  Moderate Integrity Spaces
Apart from some alterations, some details represent the original/early work.
-  Low Integrity Spaces
These spaces have experienced several alterations, & apart from the spatial layout &/or minimal original/detailing, these rooms have little integrity.

Ballarat Mining Exchange

Dwg. 1.04 First Floor Integrity Key

Drawing Diagrammatic Only - Not To Scale
(Based on Measured Drawing by R. Ailken, et.al.)

Wendy Jacobs & David Rowe, 2003



8.02 Historical Figures

Ballarat Mining Exchange: Historical Photos in the City of Ballarat Files



Figure 2.01: Interior, Exchange Hall, c.1890.
Source: Ballarat Historical Society & City of Ballarat.



Figure 2.02: Interior, Exchange Hall, c.1900.
The date "1887" written over the photograph is incorrect.
Source: Ballarat Historical Society & City of Ballarat.

An advertisement from the Evening Echo, 1904. The top part of the advertisement features a photograph of the exterior of the Exchange Hall, a grand building with a prominent entrance and a sign that reads "MINING EXCHANGE". Below the photograph is a list of names and addresses of various firms and individuals, including: J. D. WOLCOTT, F. BROWN, I. STODDART, W. L. CARNEGIE, H. GORDON ROSS, J. H. DILL, M. A. BERRYER, CHAS. RUTLE, JAMES LAMB, W. GOUGH, W. D. THOMPSON, and A. J. PHACOCK. The bottom part of the advertisement features a photograph of the interior of the call room, showing a large room with many tables and chairs, where a group of people are seated, likely engaged in business transactions.

Figure 2.03: Advertisement from the *Evening Echo*, 1904. Note the interior of the call room in the lower photograph.
Source: City of Ballarat.

8.03 Contemporary Photographs



Photo 3.01: Exterior, Front Pavilion, West Façade.



Photo 3.02: Exterior, Front Pavilion, detail of west first floor façade and parapet.



Photo 3.03: Exterior, Front Pavilion, detail of reconstructed verandah on the west façade.



Photo 3.04: Exterior, Front Pavilion, detail of arcaded ground floor shopfronts on the west façade.



Photo 3.05: Exterior, Front Pavilion, detail of introduced aluminium framed and glazed door on ground floor shopfront, west façade.



Photo 3.06: Exterior, Front Pavilion, detail of intact ground floor shopfront with reconstructed six panelled timber door, west façade.



Photo 3.07: Exterior, Front Pavilion, detail of reconstructed six panelled timber door with round-arched fanlight above. This door is on the north side of the base to the springing of the entrance arch. Note the decorative floral motifs in the arch. Also note that the fanlight has been painted over to obscure introduced lowered ceiling within.



Photo 3.08: Exterior, Front Pavilion, detail of central ground floor entrance arch, west façade. Note the early/reconstructed iron gates and the introduced aluminium framed and glazed doors behind.



Photo 3.09: Exterior, Front Pavilion, detail of raised ground level outside shopfronts.



Photo 3.10: Exterior, Front Pavilion, detail of partially submerged original subfloor vent opening due to raised ground level.



Photo 3.11: Exterior, Exchange Hall, east elevation (and part south elevation).



Photo 3.12: Exterior, Exchange Hall, south elevation (and part east elevation).

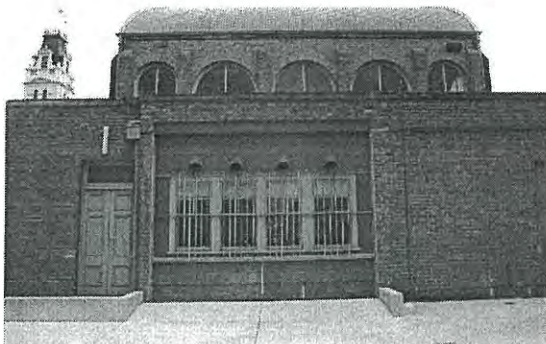


Photo 3.13: Exterior, Exchange Hall, detail of introduced bank of timber framed double hung windows and sheet wall cladding in east elevation.



Photo 3.15: Exterior, Exchange Hall, detail of ramped concrete ground level adjacent to the introduced windows and wall cladding on the east elevation. Also note the space between the introduced concrete ramp and the wall base.

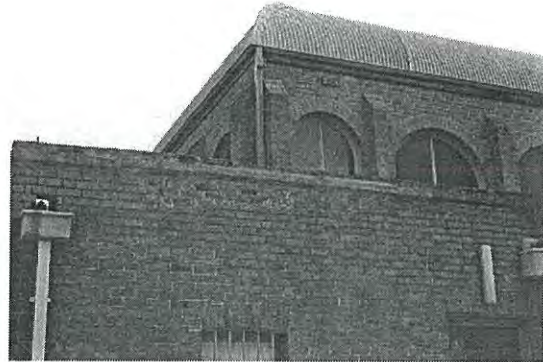


Photo 3.14: Exterior, Exchange Hall, detail of poor quality re-rendering to parapet capping, east elevation, south end.

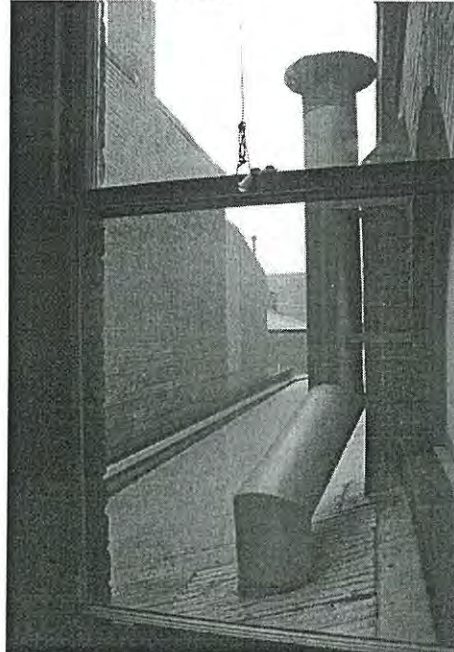


Photo 3.16: Exterior, Exchange Hall, north elevation (clerestory level), west end showing introduced zincalume ventilation stack which is causing rusting at the junctions of the base cladding and the roof cladding.



Photo 3.17: Exterior, Exchange Hall, south elevation (clerestorey level), west end, showing galvanised ventilation stacks.

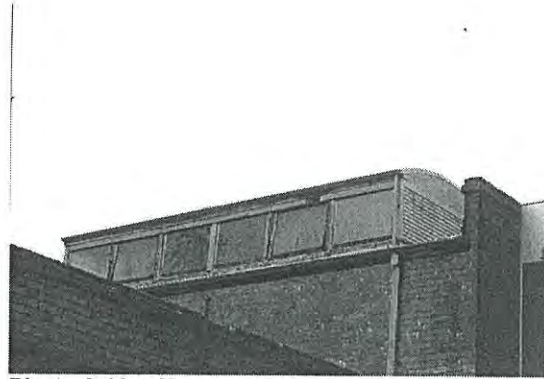


Photo 3.18a: Exterior, Call Room, south elevation showing deteriorated framing and cladding of lantern light.

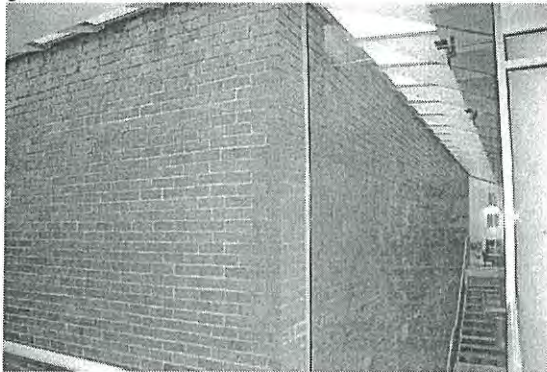


Photo 3.18b: Exterior, Call Room, view of north and east elevations now largely enclosed by the new University of Ballarat building.

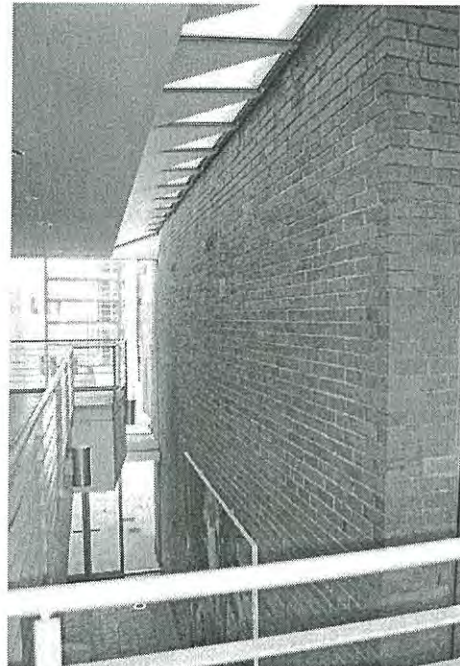


Photo 3.18c: Exterior, Call Room, view of east elevation now largely enclosed by the new University of Ballarat building.



Photo 3.23: Exterior, Office & Toilet Wing, part west elevation (north end) showing early timber framed double hung window with early bluestone sill.



Photo 3.24: Exterior, Office & Toilet Wing, detail of damaged/partially demolished north-west corner of west elevation.



Photo 3.25: Exterior, Office & Toilet Wing, detail of open space showing partial demolition of toilet cubicle, timber framed galvanised corrugated iron partition (north end) and introduced raised concrete slab.

Photo 3.27: to be included in draft Report.

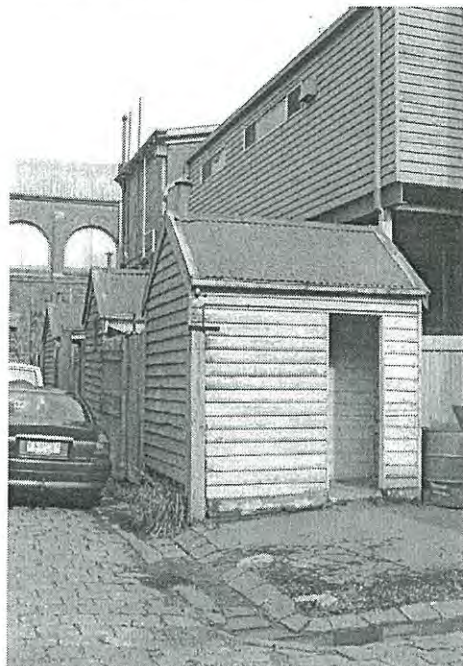


Photo 3.26: Exterior lane west of (opposite) Office & Toilet wing and north of the Exchange Hall.

Photo 3.28: to be included in draft Report.



Photo 3.33: Interior, Entrance/Stair Hall (space FG05). View of south wall (west of stairs) showing original round arched window and door opening, with altered window and door.



Photo 3.34: Interior, Entrance/Stair Hall (space FG05). View of west end showing introduced aluminium framed and glazed partition with double doors.



Photo 3.35: Interior, Entrance/Stair Hall (space FG05), east wall (south end). Note the original four panelled timber doors. There also appears to be evidence of original bluestone flagging under the asphalt floor surface.



Photo 3.36: Interior, Entrance/Stair Hall (space FG05), showing original staircase.

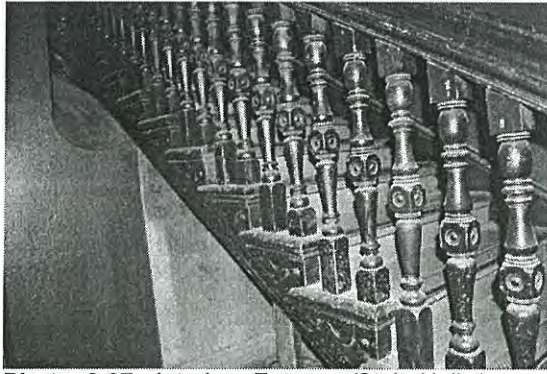


Photo 3.37: Interior, Entrance/Stair Hall (space FG05). Original timber staircase detail.



Photo 3.38: Interior, Landing & Stairs (space FF12). View of upper flight of stairs. Note the introduced timber stair balustrade (to the left).



Photo 3.39: Interior, Landing & Stairs (space FF12). View of original upper flight of stairs. Also note the introduced timber and glazed partition wall to the west (right of stairs).

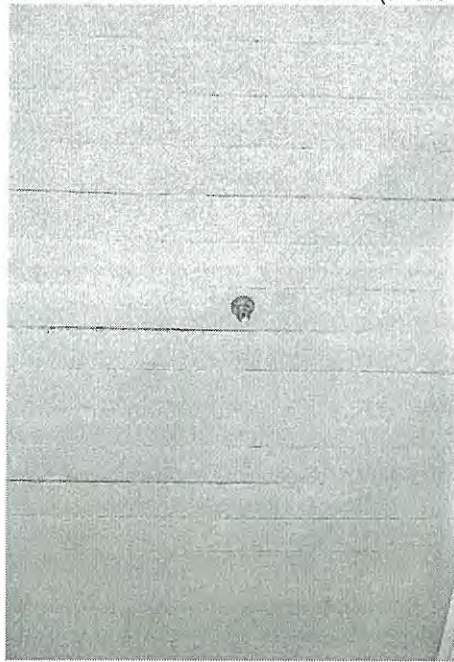


Photo 3.40: Interior, Landing & Stairs (space FF12). Detail of early v jointed timber lining board ceiling.

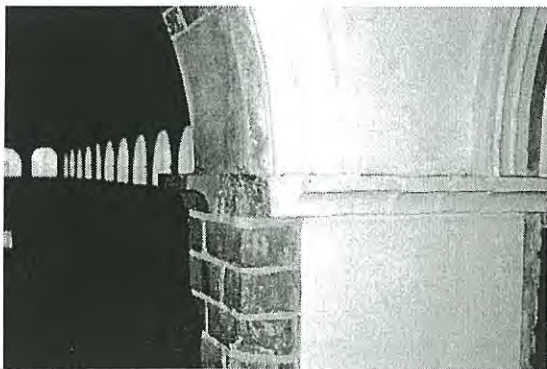


Photo 3.41: Interior, Landing & Stairs (space FF12). Detail of archway showing damaged/missing projecting brick and plaster cornices.

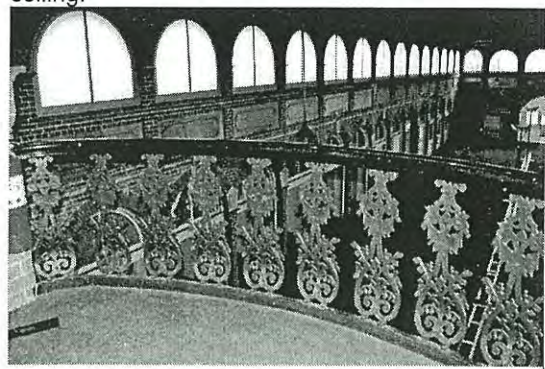


Photo 3.42: Interior, Landing & Stairs (space FF12). Detail of original curved landing with reconstructed sway bellied cast iron balustrade.

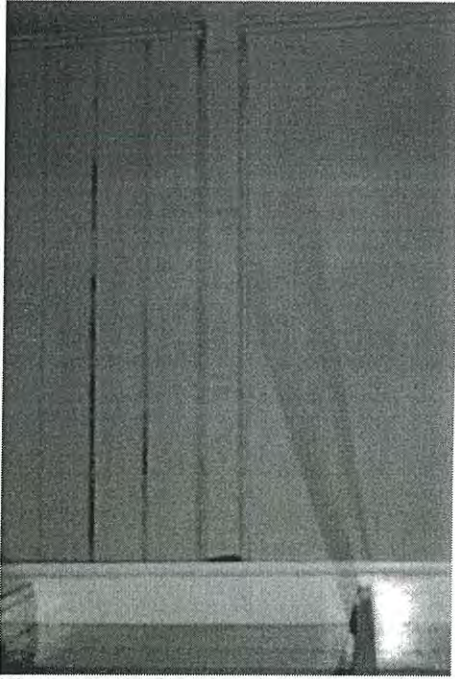


Photo 3.43: Interior, Landing & Stairs (space FF12). Detail of notched ceiling member that may indicate the location of an early screen/partition that has subsequently been removed.



Photo 3.44: Interior, Office (spaces FF01-02). Detail of introduced strapped ceiling and original (altered) skylight.

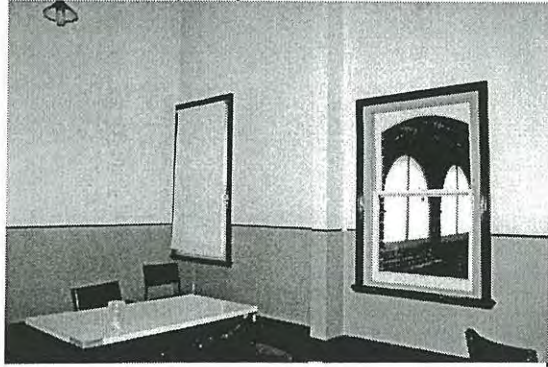


Photo 3.45: Interior, Office (spaces FF01-02). View of north-east corner showing projecting wall nib (indicating previous original wall) and the timber framed double hung windows.



Photo 3.46: Interior, Office (spaces FF01-02). Detail of original (altered skylight), north end.



Photo 3.47: Interior, Kitchen & Toilets (space FF03). View looking east showing introduced cubicle walls in the foreground and original timber framed double hung window opening in the background.

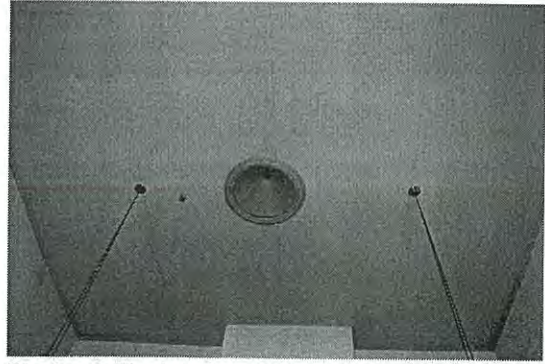


Photo 3.48: Interior, Office (spaces FF04/05). Detail of introduced strapped sheet ceiling and original ceiling vent with galvanised hood.

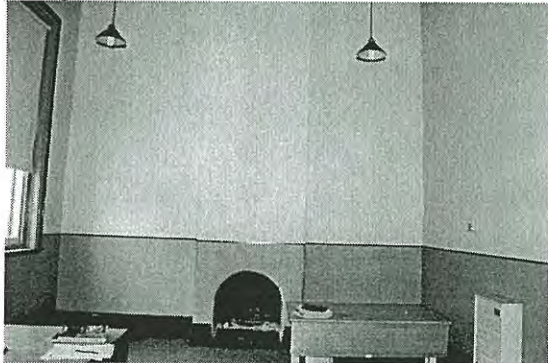


Photo 3.49: Interior, Office (spaces FF04-05). View looking north showing original (altered) round arched fireplace.

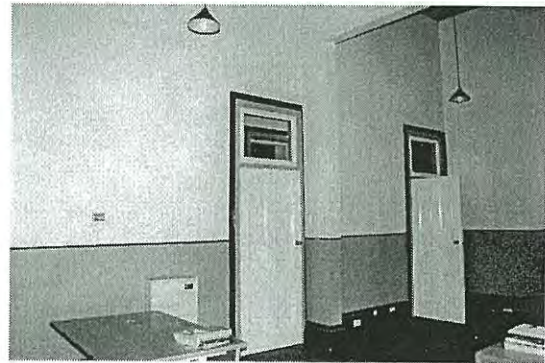


Photo 3.50: Interior, Office (spaces FF04-05). View looking south-east. Note projecting wall and ceiling nibs indicating the location of the previous original wall. Also note the original panelled timber doors with transom windows.

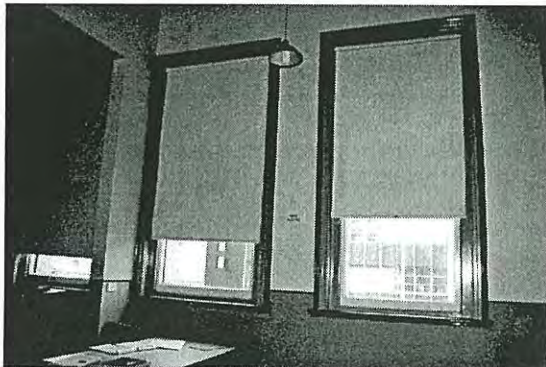


Photo 3.51: Interior, Office (spaces FF04-05). View looking west showing original timber framed double hung windows with moulded timber architraves.



Photo 3.52: Interior, Office (spaces FF04-05). View looking south-west.



Photo 3.53: Interior, Office (space FF06). View of west wall showing timber framed double hung windows and semi-circular window.



Photo 3.54: Interior, Office (space FF07). View looking south-west.



Photo 3.55: Interior, Office (space FF07), showing west wall and original timber framed double hung windows.



Photo 3.56: Interior, Office (space FF09). Note the original panelled timber door with transom window and the timber framed double hung window.

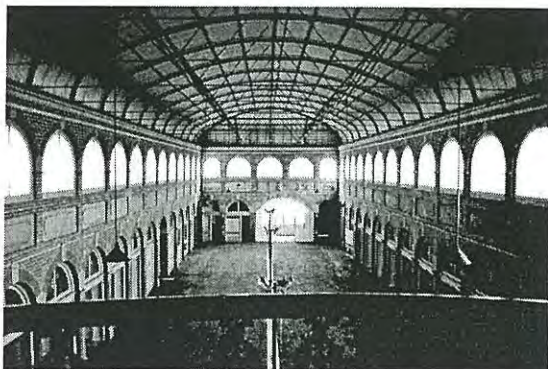


Photo 3.57: Interior, Exchange Hall (space H01). View from first floor landing (west end) looking east.

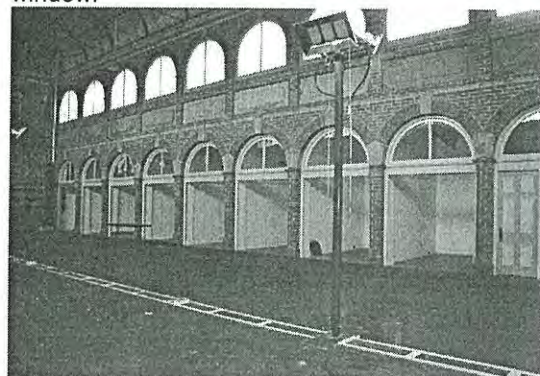


Photo 3.58: Interior, Exchange Hall (space H01). View of north wall (western half) showing arched booths. The gas heater and stand in the foreground have been introduced.



Photo 3.59: Interior, Exchange Hall (space H01). View of introduced panelled timber and glazed partitions on north wall, screening the ladies' and men's toilets. These partitions appear to be a reconstruction of the original design. The wider single six panelled timber door is original.

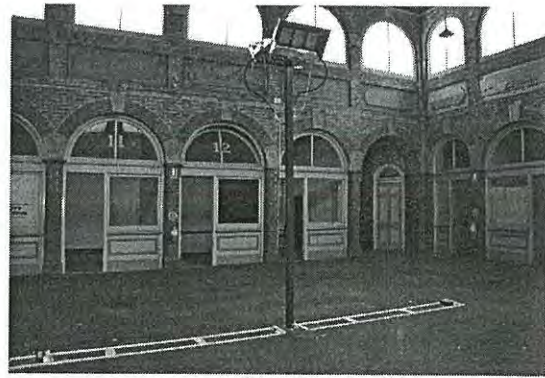


Photo 3.60: Interior, Exchange Hall (space H01). View of north wall (east end) showing arcaded booths. The corner arch forms the opening to the northern passage that leads to the Call Room.



Photo 3.61: Interior, Exchange Hall (space H01). View of north-east corner, showing northern passage to the Call Room.

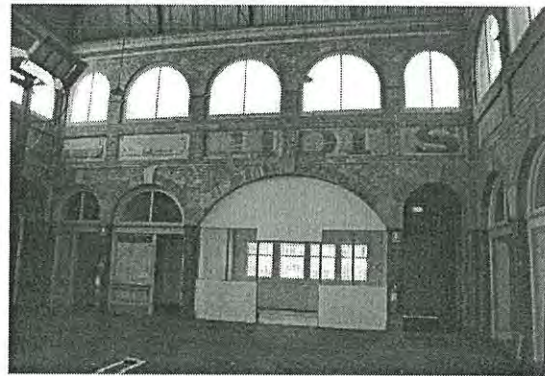


Photo 3.62: Interior, Exchange Hall (space H01). View of east wall. Note the introduced large arched opening (with introduced infill) that was once two booth arches.



Photo 3.63: Interior, Exchange Hall (space H01). View of rear passage to eastern exit.

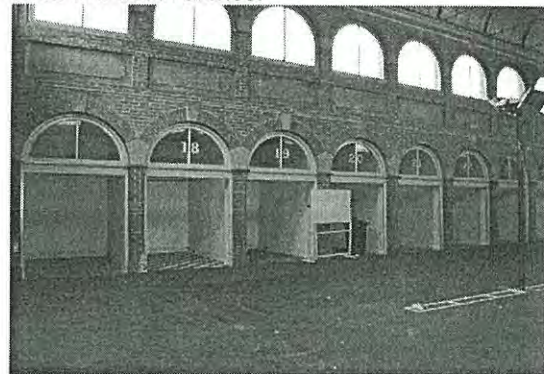


Photo 3.64: Interior, Exchange Hall (space H01). View of south wall (east end) showing arcaded booths.

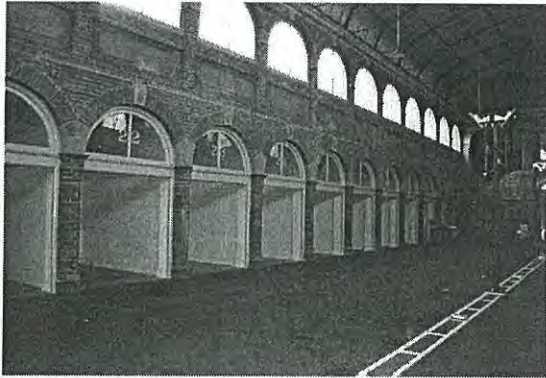


Photo 3.65: Interior, Exchange Hall (space H01). View of south wall (west end) showing arcaded booths.



Photo 3.66: Interior, Exchange Hall (space H01). Detail of western-most booth arcades on south wall. These booths have been converted into an electrical substation. The panelled timber and glazed partitions appear to be a reconstruction of the original design.



Photo 3.67: Interior, Exchange Hall (space H01). View of west wall. Note the altered central arch with introduced aluminium framed and glazed partition with double doors.

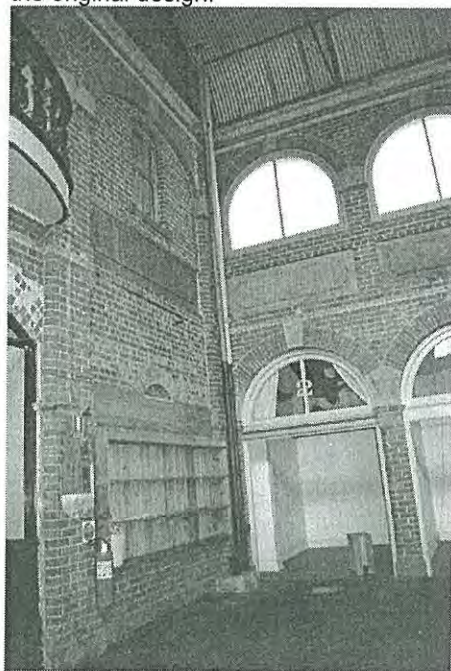


Photo 3.68: Interior, Exchange Hall (space H01). View of north-west corner showing introduced timber shelving over the round arched window on the west wall.



Photo 3.69: Interior, Exchange Hall (space H01). Detail of altered central archway on west wall.



Photo 3.70: Interior, Exchange Hall (space H01). Detail of early signage below first floor window on west wall (north end).



Photo 3.71: Interior, Exchange Hall (space H01). Detail of incised panel and early signage above booth arcade on south wall.

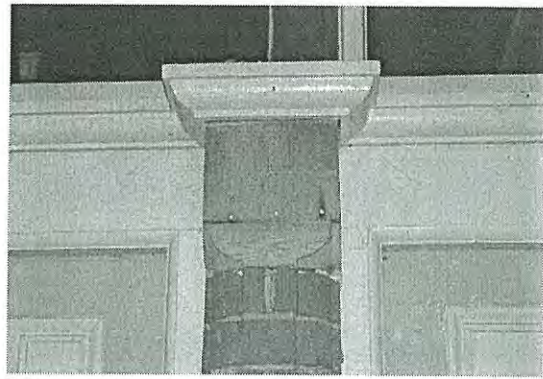


Photo 3.72: Interior, Exchange Hall (space H01). Detail of introduced plywood capital to pier on north wall.



Photo 3.73: Interior, Exchange Hall (space H01). Detail of incised panels and early signage above the booth arcades (now electrical substation) on the south wall (west end).

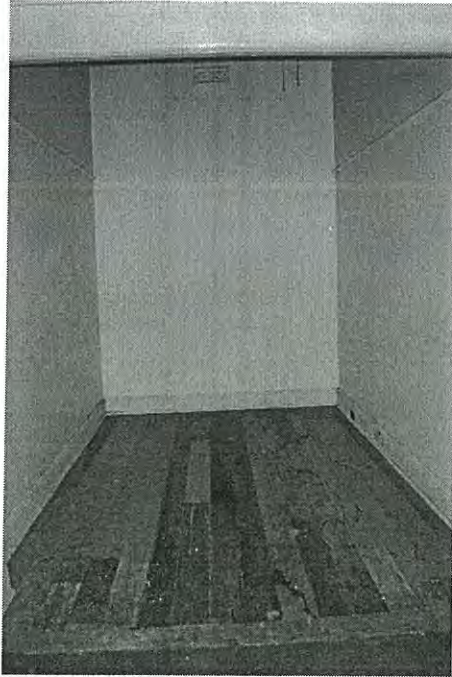


Photo 3.74: Interior, Booth (space B04). Note recycled timber floor boards, but the replastered walls and plaster wall vent are original.



Photo 3.75: Interior, Ladies' Toilets (space B08a). Detail of introduced (but appropriate) stained beaded edged timber lined ceiling. Note the early ceiling ventilation opening with bolection mould frame and galvanised hood punctuated by the electrical fan.

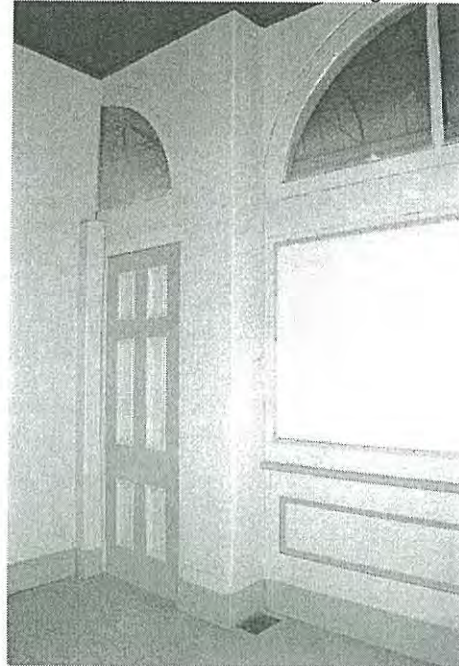


Photo 3.76: Interior, Ladies' Toilets (space B08a). View looking south-east showing introduced panellled timber and glazed arcade partition and appropriate six panellled timber door.



Photo 3.77: Interior, Ladies' Toilets (space B08a). Detail of introduced toilet cubicles and windows (in the background).



Photo 3.78: Interior, Booth (space B01). Detail of projecting wall nib, and blocked up door opening (west wall).



Photo 3.79: Interior, Exchange Hall (space H01). Detail of northern passage to call room showing evidence of rising damp on the lower courses of the brick walls.

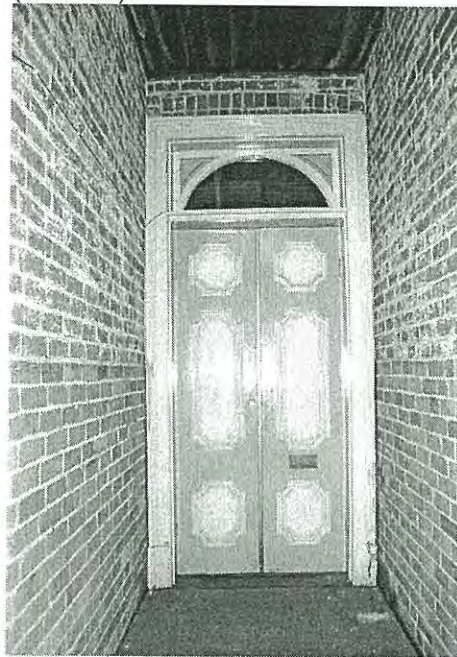


Photo 3.80: Interior, Exchange Hall (space H01). Detail of panellled double timber Call Room doors from the northern passage.



Photo 3.81: Interior, Exchange Hall (space H01). Detail of panelled timber double doors in rear passage forming eastern exit. Note the introduced door frame (especially evidence above the timber framing of the transom window which does not follow the curve of the original shallow arch).



Photo 3.82: Interior, Exchange Hall (space H01). Detail of dampness under door opening and evidence of rising damp on the lower courses of the northern brickwork. The powdery nature of the mortar has left a residue on the floor.



Photo 3.83: Interior, Exchange Hall (space H01). Detail of loose timber quad ceiling cornice on west end of rear eastern exit passage.



Photo 3.84: Interior, Call Room (space CR01). View looking north-east showing large timber lined ceiling with Queen Post trusses and lantern light, and the central fireplace on the north wall.



Photo 3.85: Interior, Call Room (space CR01). Detail of lantern light and Queen Post trusses.



Photo 3.86: Interior, Call Room (space CR01). Detail of coved ceiling, Queen Post trusses and lantern light, looking east. Note the evidence of falling damp on the east wall, south end.

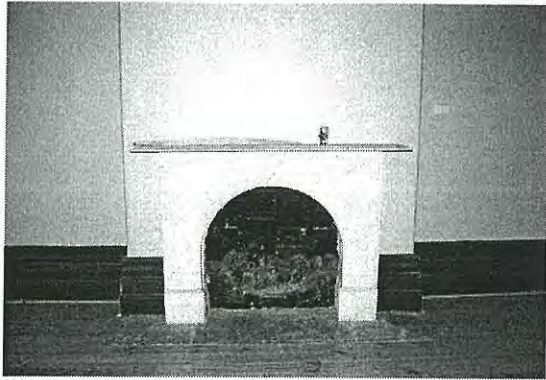


Photo 3.87: Interior, Call Room (space CR01).
Fireplace detail.



Photo 3.88: Interior, Call Room (space CR01).
Detail of altered original three panelled timber
double doors on south wall.



Photo 3.89: Interior, Call Room (space CR01).
Detail of damaged door, showing fractured timber
edge.



Photo 3.90: Interior, Call Room (space CR01).
Detail of original six panelled timber door on west
wall (south end) that leads to the passage (space
T03).

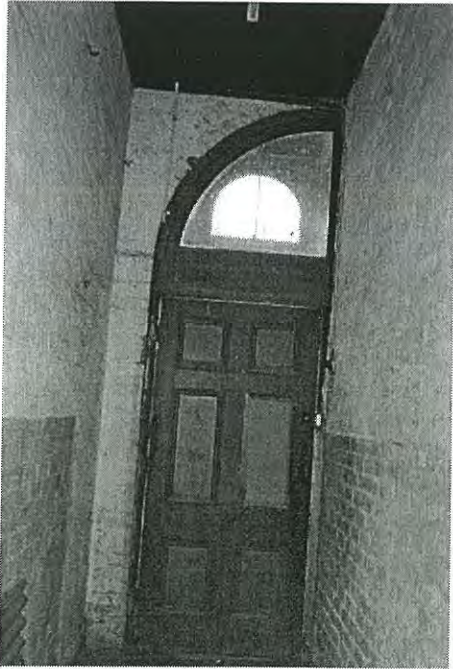


Photo 3.91: Interior, Passage (space T03). Note original brick walls (now painted) and six panelled timber door. The door appears to reveal an original/early colours scheme.

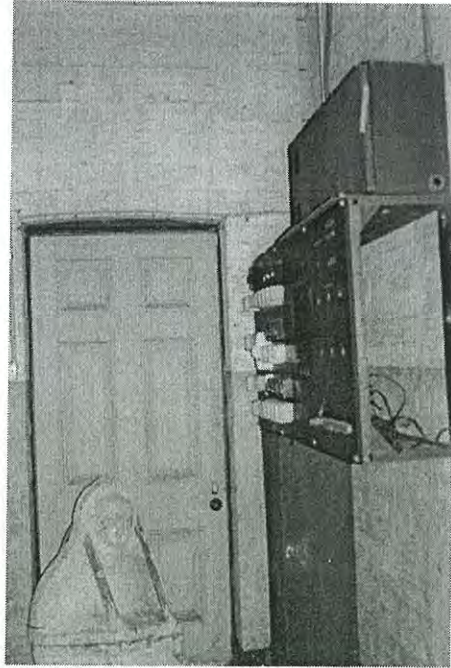


Photo 3.92: Interior, Passage (space T03). Note original six panelled timber door on north wall that leads to the Call Room (space CR01).

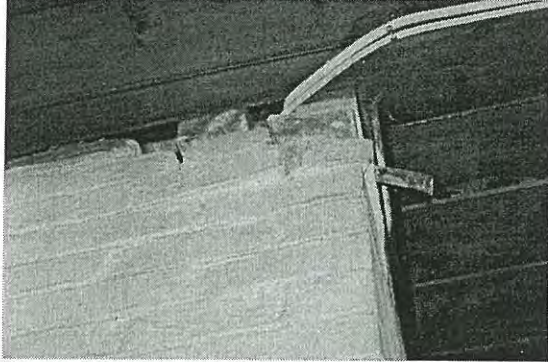


Photo 3.93: Interior, Passage (space T03). Detail of introduced electrical conduit that has inappropriately damaged the brick wall above the door into the office (space T02).



Photo 3.94: Interior, Passage (space T03). View looking north to Men's Toilet (space T01). Note the original timber framed doorway with transom window above, and the moulded timber architraves. Also note the concrete floor and evidence of dampness.

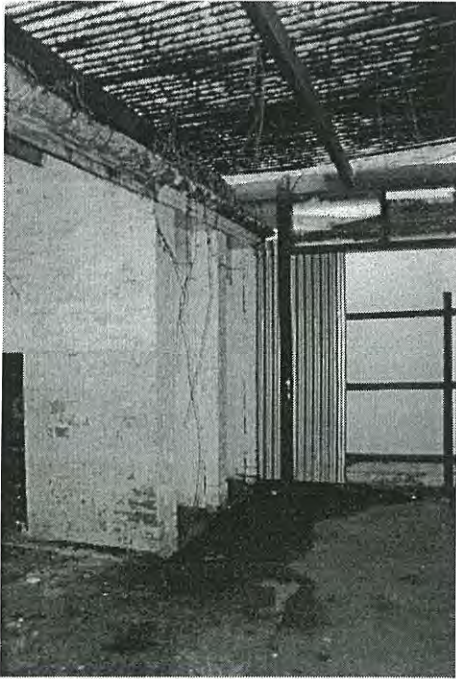


Photo 3.95: Interior, Men's Toilets (space T01). View looking north-west from south-east doorway. Note the introduced skillion roof and overgrown creeper. Also note the introduced timber framed corrugated galvanised iron temporary northern wall partition and the ponding water as a result of the introduced raised concrete slab to the north of the corrugated partition. Further note that the previous third (northern cubicle) was situated beyond the galvanised corrugated iron partition.



Photo 3.97: Interior, Men's Toilets (space T01). Detail of remaining toilet cubicles. The third cubicle (which was situated to the right of the photo) has been demolished.



Photo 3.96: Interior, Men's Toilets (space T01). View looking south-west from northern partition. Note the substantial deterioration in the roof structure and brick walls, and the overgrown creeper. Also note the original doorway with the four panelled timber door.

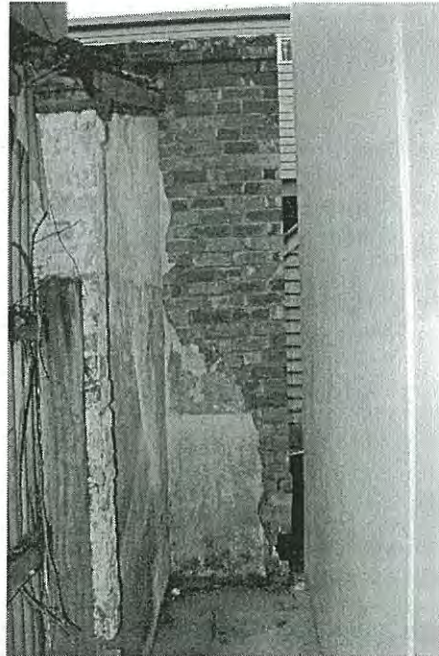


Photo 3.98: Interior, Men's Toilets (space T01). View showing area of demolished toilet cubicle (northern end of toilets). Note the damage to the west brick wall, introduced boundary wall of the new University of Ballarat building.



Photo 3.99: Interior, Men's Toilets (space T01). Detail of area of demolished toilet cubicle. Note the introduced raised concrete slab and the build up of debris within this open space.