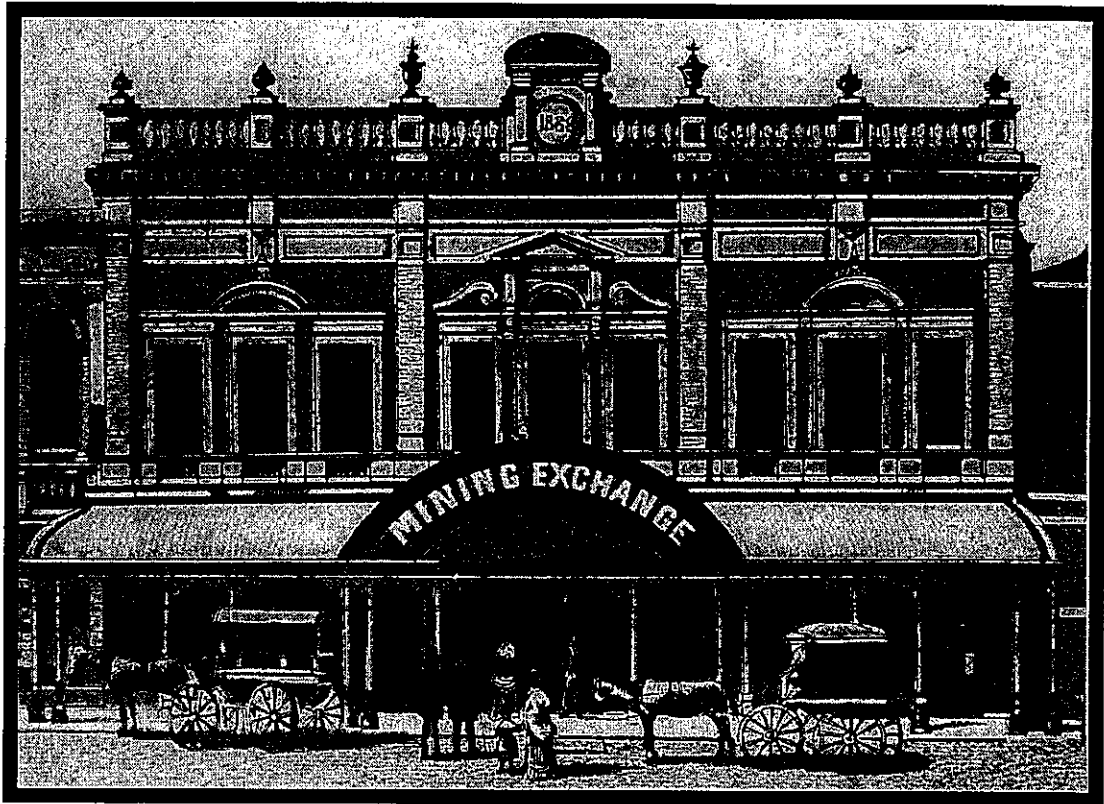

Ballarat Mining Exchange

12 Lydiard Street North, Ballarat



Conservation Management Plan

Dr David Rowe: Authentic Heritage Services Pty Ltd

&

Wendy Jacobs: Architect & Heritage Consultant

March 2004

Ballarat Mining Exchange

12 Lydiard Street North, Ballarat

CONSERVATION MANAGEMENT PLAN

Commissioned by the City of Ballarat

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Costings:

Dr Jim Smith, Building Cost Consultant

March 2004

Disclaimer: All recommendations provided in this Report should be verified by qualified Engineers, Building Surveyors and other associated professionals.

TABLE OF CONTENTS

□	SECTION 1	
	1.0 Introduction	2
	1.1 Background & Method	2
	1.2 Acknowledgments	3
	1.3 Heritage Listings	3
	1.4 Statutory Obligations of Heritage Listings	4
	1.5 Definition of the Property	5
□	SECTION 2	
	2.0 Historical Evidence	
	2.1 Before the Ballarat Mining Exchange	7
	2.1.1 Ballarat Gold Rush	7
	2.1.2 Establishment of a Government Camp at Ballarat	8
	2.1.3 Government Buildings on the Mining Exchange Site	9
	2.1.4 Land Transfer	9
	2.2 Ballarat Mining Exchange: Social Development	10
	2.2.1 Historical Background of the Stock Exchange in Melbourne & Ballarat	10
	2.2.2 Development of the Old Mining Exchange, Ballarat	11
	2.2.3 Development of the Ballarat Mining Exchange, Lydiard Street	12
	2.3 Ballarat Mining Exchange: Architectural Development	18
	2.3.1 Initial Construction	18
	2.3.2 Demolition of Front Verandah	19
	2.3.3 Rear Alterations	19
	2.3.4 Restoration & Renovation of the Exchange Building	19
	2.3.5 The Principal Architect: Charles Douglas Figgis	22
	2.4 Chronological Overview	24
□	SECTION 3	
	3.0 Physical Evidence	
	3.1 The Site & Setting	26
	3.2 Built Fabric	26
	3.2.1 The Exterior	27
	3.2.2 Interior (General)	29
	3.3 Conclusions	34

□	SECTION 4	
	4.0 Cultural Significance	
	4.1 Introduction	38
	4.1.1 Contextual Background: The Mining Exchange	38
	4.2 Other 19th Century Mining Exchange Buildings in Australia	38
	4.2.1 Former "Corner" Mining Exchange Hall, Sturt Street, Ballarat	38
	4.2.2 Beehive Building, Bendigo	39
	4.2.3 Stock Exchange Arcade, Charters Towers, Queensland	40
	4.2.4 Chamber of Mines, School of Mines & School of Mines Museum Group, Kalgoorlie, Western Australia	41
	4.3 Other 19th Century Victorian Free Classical Styled Buildings in Ballarat	41
	4.3.1 Ballarat Mechanics Institute, Sturt Street	41
	4.3.2 Her Majesty's Theatre, Lydiard Street South	42
	4.3.3 Former Protestant Hall, Grenville Street	42
	4.4 Assessment of Significance	43
	4.5 Statement of Significance	46
	4.6 Significance of Components	48
□	SECTION 5	
	5.0 Conservation Policy	
	5.1 Introduction	51
	5.2 General Policy	51
	5.3 Exterior Fabric	54
	5.4 Interior Fabric	54
	5.5 Setting	55
	5.6 Heritage Obligations	55
	5.7 Future Development & Control of Physical Intervention	55
	5.8 Use	57
	5.9 Statutory Constraints	59
	5.10 Interpretation	59
	5.11 Management	60
	5.12 Funding Opportunities	61
	5.13 Lodgement of the Conservation Management Plan	62
	5.14 Further Research	63

□	SECTION 6	
	6.0 Recommendations	
	6.1 Introduction	65
	6.1.1 Explanatory	65
	6.1.2 Recommended Permit Exemptions	65
	6.2 Exterior	67
	6.2.1 General Recommendations	67
	6.2.2 Front Pavilion	70
	6.2.3 Mining Exchange Hall	72
	6.2.4 Call Room	74
	6.2.5 Toilets, Office & Passage Wing	75
	6.3 Interior (General)	77
	6.3.1 Retention of Significant Fabric	77
	6.3.2 Building Circulation	77
	6.3.3 Electrical & Other Related Services	78
	6.3.4 Fittings & Fixtures	78
	6.3.5 Interior Painting	78
	6.3.6 Early & New Signage	80
	6.3.7 Heating & Mechanical Air Ventilation	81
	6.3.8 Openings in Significant Walls	82
	6.3.9 Archaeological Issues	83
	6.4 Moderate-High Integrity Spaces	84
	6.4.1 Space FG02 (Store)	84
	6.4.2 Space FG03a (Shop)	84
	6.4.3 Space FG03b (Store, rear of Shop)	85
	6.4.4 Space FG04a (Shop, front portion)	85
	6.4.5 Space FG04b (Shop, rear portion)	86
	6.4.6 Space FG05 (Entrance Lobby/Stair Hall)	86
	6.4.7 Spaces FF01-02 (Offices)	88
	6.4.8 Spaces FF04-05 (Offices)	89
	6.4.9 Space FF06 (Office)	90
	6.4.10 Space FF07 (Office)	91
	6.4.11 Space FF08 (Office)	92
	6.4.12 Space FF09 (Office)	92
	6.4.13 Space FF10 (Office)	93
	6.4.14 Spaces FF11 (Foyer & Passages)	94
	6.4.15 Spaces FF12 (Stairs & Landing)	94
	6.4.16 Space H01 (Mining Exchange Hall)	95
	6.4.17 Space B01 (Booth)	98
	6.4.18 Space B02 (Booth)	99
	6.4.19 Space B03 (Booth)	100
	6.4.20 Space B04 (Booth)	101
	6.4.21 Space B05 (Booth)	101
	6.4.22 Space B06 (Booth)	102
	6.4.23 Space B07 (Booth)	103
	6.4.24 Space B08 (Booth)	104
	6.4.25 Space B09 (Booth)	105
	6.4.26 Space B10 (Booth)	105

6.4.27	Space B11 (Booth)	106
6.4.28	Space B12 (Booth)	107
6.4.29	Space B13 (Booth)	108
6.4.30	Space B14 (Booth)	109
6.4.31	Space B16 (Booth)	110
6.4.32	Space B17 (Booth)	110
6.4.33	Space B18 (Booth)	111
6.4.34	Space B19 (Booth)	112
6.4.35	Space B20 (Booth)	113
6.4.36	Space B21 (Booth)	114
6.4.37	Space B22 (Booth)	115
6.4.38	Space B23 (Booth)	116
6.4.39	Space B24 (Booth)	117
6.4.40	Space B25 (Booth)	118
6.4.41	Space B26 (Booth)	119
6.4.42	Space B27 (Booth)	120
6.4.43	Space B28 (Booth)	121
6.4.44	Space B29 (Booth)	122
6.4.45	Space CR01 (Call Room)	123
6.4.46	Space T02 (Office)	125
6.4.47	Space T03 (Passage)	126
6.5	Moderate Integrity Spaces	127
6.5.1	Space B08a (Ladies' Toilets)	127
6.5.2	Space B08b (Men's Toilets)	128
6.6	Low Integrity Spaces	128
6.6.1	Space FF03 (Kitchen & Toilets)	128
6.6.2	Space B15 (Store)	129
6.6.3	Spaces B30-31 (Former Booths, now Electrical Substation)	129
6.6.4	Space T01 (Former Men's Toilets)	130
6.7	Cost Plan	134
<input type="checkbox"/>	SECTION 7	
	7.0 Bibliography	140
<input type="checkbox"/>	SECTION 8	
	8.0 Appendices	142
8.01	Photographic & Integrity Keys	144
8.02	Historical Figures	149
8.03	Contemporary Photographs	165
8.04	Comparative Analysis Figures	189
8.05	Building Schedules	193
8.06	Australia ICOMOS Burra Charter	225
8.07	Criteria for Assessment of Cultural Heritage Significance for the Victorian Heritage Register	236

Executive Summary

The City of Ballarat commissioned Dr David Rowe of Authentic Heritage Services Pty Ltd and Wendy Jacobs Architect and Heritage Consultant, to prepare this Conservation Management Plan in July 2003. Also associated with the project are Darcy Seller, researcher; and Dr Jim Smith, Building Cost Consultant. A draft copy of this Report (virtually an identical version of this report was completed in November 2003).

1. Historical Background

With the Ballarat gold rush in the 1850s came the need for a mining exchange in Ballarat whereby the sharebrokers and share jobbers could assemble and transact business and trade. As early as 1857 share dealers met at a site in Sturt Street between the Mechanics Institute and the Unicorn Hotel and later at the "Corner" (south-east corner, Sturt and Lydiard Streets), before the first purpose-built Exchange Hall was constructed in Sturt Street in 1865.

With the amalgamation of two rival Exchange bodies in 1885 was the establishment as the Ballarat Mining Exchange Limited. In 1888, an upsurge in trading caused by the mining boom brought about the construction of the Ballarat Mining Exchange in Lydiard Street North. Designed by the local architect, Charles Douglas Figgis, the building opened for business in 1889. Initially, there were 98 members enrolled and each paid £100 for a seat on the exchange. The stock list included 108 mines, most of which were in the Ballarat area.

Between 1889 and the 1940s the Exchange building served its original function (either in full or part). However, the advent of the First World War brought with it the demise in gold mining and the once thriving Exchange building was made virtually redundant. Some sharebrokers and the Exchange continued to occupy the building until the Second World War brought to an end any remaining associations with the share market as the last of the stockbrokers ceased to occupy the building.

From 1921, the Exchange building served as the location of Barlow Motors and the Exchange Service Station, initially as a showroom for Buick and Vauxhall cars. By 1970, Wilkins Eastern Busways used the Exchange Hall as a bus depot.

Throughout the early 20th century, the shopfronts continued to be occupied by the opticians, Cater and Foord, and Leo Casper, together with Bickarts Jewellers and various café proprietors.

In the 1970s, attention was again focussed on the Exchange building by the local branch of the National Trust. This brought with it the reconstruction of the original front verandah (which had been demolished in 1964), restoration of the exchange hall roof and windows, and the restoration of the Call Room for use as an art conservation laboratory by the Regional Galleries Association.

In the 1980s, the Rotary Club of Ballarat East leased the Exchange hall and broker's booths for weekend craft markets. In the 1990s, an antique gallery operated in the Exchange hall and broker's booths.

2. Physical Characteristics

The Ballarat Mining Exchange at 12 Lydiard Street North, Ballarat, is predominantly identified by the following physical characteristics:

The Setting

- The exterior form and detailing of the Mining Exchange contributes to the highly intact 19th century streetscape of Lydiard Street North (south end). The streetscape is defined by the two storey commercial and public buildings that adjoin the Exchange. These buildings are the Post Office (to the south) and the Old Colonist's Hall, Alexandria Tea Rooms and Ballarat Fine Art Gallery to the north. Also visually connected to the Exchange building on the west side of Lydiard Street North are four Victorian Renaissance Revival styled bank buildings that represent a most distinctive and unique streetscape of banks all by the same architect, Leonard Terry.

Mining Exchange Building

- Exterior. Predominantly intact and unusual Victorian Boom Classical styled exterior represented by:
 - Tall rectangular front (Lydiard Street) pavilion composed of three bays separated by projecting pilasters with rendered dressings and face brown brick wall construction, three timber framed double hung windows adorned with moulded aedicules, elaborate scrolled pediment above the central windows and relief panels at the window bases, wide rendered incised panelling and a crowning highly elaborate parapet having decorative modillions, urns and small raised segmental pediment. The front pavilion is roofed by three galvanised corrugated steel hips;
 - Broadly projecting reconstructed convex ground floor verandah to the front pavilion with a central segmented arched canopy, paired cast iron columns and cast iron brackets and valances. The central arched canopy features reconstructed decorative cast iron;
 - Ground floor arcaded shopfronts to the front pavilion flanking a large central coved entrance arch (with elaborate floral relief) to the Exchange Hall, smoothly rusticated and rendered shopfront arches supported by smooth rendered piers and pilasters with projecting capital mouldings, timber framed shopfront windows and reconstructed six panelled timber doors;
 - Raised (two storey high) curved (elliptical) and hipped galvanised corrugated steel Exchange hall roof at the rear of the front pavilion with face red brick walls and round-arched timber framed clerestorey windows between projecting brick buttresses, sloping galvanised corrugated steel roofs on the north, south and east elevations, and bluestone plinths and rudimentary parapets with rendered cappings;
 - Elevated call room wing to the north-east with parapetted red brick wall construction and a broad hipped roof form crowned by an elongated lantern light;
 - Modestly scaled single storey toilet and office wing with an altered and introduced skillion roof, and early face brick parapetted wall construction

to the west having a six panelled timber door with transom window. The north end is open and partially enclosed by a galvanised corrugated steel partition, the length of the toilet space shortened with a gap created between it and the recent south wall of the University of Ballarat building;

- Interior. Rare and predominantly intact interiors largely reflective of the original (1887-1888) design of four distinct areas within the building complex. The significant spaces are as follows:
 - Front two storey shopfront and office pavilion. The northern ground floor shops have been combined into one large coffee shop and have been altered. The southern shops appear to be largely intact in layout and include original hard plaster walls, timber floors, timber skirtings, moulded timber window and door architraves and timber lined ceilings. The six panelled timber doors have been reconstructed. The southernmost shop (Shop 4) has an early timber screen with colour glass. The layout of the first floor offices is predominantly intact although early walls have been removed between some spaces and new fabric has been introduced including strapped plaster sheet ceilings, moulded timber skirtings and moulded timber door architraves. The northern spaces representing the small kitchen and toilets have been greatly altered;
 - Mining Exchange Hall and flanking Broker's Booths. Large intact rectangular space with an asphalt floor, curved (elliptical) exposed roof supported by fine wrought iron trusses, arcaded face brick walls on bluestone footings, stop chamfered brick pilasters with brick mouldings, brick stringcoursing, incised rendered signage panels and projecting cream brick cornices. The flanking booths have early timber framed hopper sash fanlights and a combination of early and reconstructed timber framing, replastered walls and reconstructed timber floors and timber lined ceilings with galvanised hoods (predominantly the southern booths). There are some reconstructed timber and glazed partitions in the booth arches for the ladies' and men's toilets, north-east arcades and in the south-west corner. A large arched opening has been introduced on the south-east end;
 - Call Room. Predominantly reconstructed large space featuring an early coved beaded edged timber lining board ceiling with decorative turned timber Queen Post trusses and an elongated lantern light with frosted glazing and introduced corrugated acrylic sheeting. The Baltic pine timber floor, hard plaster walls and high moulded timber skirtings have been reconstructed and restored. Other early features include the white marble fireplace, moulded timber door architraves, three panelled double timber entrance doors on the south wall (altered) and the four panelled timber doors on the south and west walls;
 - Office and Toilets. Original passage with early beaded edged and stained timber lining board ceiling, painted brick walls, some introduced plaster skirtings and early six panelled and four panelled timber doors. Largely intact office space (Space T1) with timber lined ceiling, hard plaster walls, moulded timber skirtings and timber framed double hung window. Altered and substantially weathered male toilet space with early brick cubicles (one cubicle has been demolished), demolished

north brick wall with exposed brick toothing and loose bricks at the sides, exposed introduced corrugated acrylic roof sheeting on timber roof structure and concrete floor;

3. Cultural Heritage Significance

Overall, the Ballarat Mining Exchange is significant at a **STATE** level. Briefly, the Exchange Building is significant in the following ways:

- The most intact 19th century Mining Exchange buildings still representative of its original function in Victoria;
- One of few surviving 19th century Mining Exchange buildings in Australia;
- An important work of the architect, Charles Douglas Figgis;
- A highly important contributor to a rare intact 19th streetscape of two storey commercial and public buildings in this part of Lydiard Street North;
- One of the most intact Victorian Free/Boom Classical styled street facades in Victoria with its unusual and highly distinctive detailing that outwardly expresses the prosperity of the gold mining era;
- An important contributor to the collection of Victorian Free Classical styled buildings in Ballarat;
- For its predominantly intact original (1887) two storey Victorian Boom Classical styled exterior. The building is defined by its four main components and the intact fabric includes (but may not be limited to):
 - Front symmetrical, two storey pavilion: three-bayed composition having projecting pilasters with rendered dressings and face brown brick wall construction, three timber framed double hung windows adorned with moulded aedicules, elaborate scrolled pediment above the central windows and relief panels at the window bases, wide rendered incised panelling, crowning highly elaborate parapet with decorative modillions, urns and small raised segmental pediment, three attached galvanised corrugated steel hip roof forms behind the front parapet; broadly projecting reconstructed convex ground floor verandah to the front pavilion with central segmented arched canopy, paired cast iron columns and cast iron brackets and valances, reconstructed decorative cast iron in arched canopy; and ground floor arcaded shopfronts flanking a large central coved entrance arch (with elaborate floral relief) to the Exchange Hall, smoothly rusticated and rendered shopfront arches supported by smooth rendered piers and pilasters with projecting capital mouldings, timber framed shopfront windows and reconstructed six panelled timber doors;

- Mining Exchange Hall: Raised (two storey high) curved (elliptical) and hipped galvanised corrugated steel hall roof at the rear of the front pavilion with face red brick walls and round-arched timber framed clerestorey windows between projecting brick buttresses, sloping galvanised corrugated steel roofs on the north, south and east elevations, and bluestone plinths and rudimentary parapets with rendered cappings;
- Call Room: elevated call room to the north-east with parapetted red brick wall construction and a broad hipped roof form crowned by an elongated lantern light;
- Office & Toilets: modestly scaled single storey toilet and office wing with face brick parapetted wall construction, six panelled timber door with transom window and the timber framed double hung window;
- For its predominantly intact spatial layout reflective of original (1887) exchange functions of the building, with front ground floor shops and first floor offices, rear exchange hall flanked by arcades of broker's booths, rear/side call room and side office and toilets;
- For its predominantly intact interiors reflective of the original (1887) design. The intact interiors include (but may not be limited to):
 - Front Pavilion: layout and hard plaster walls, timber floors, timber skirtings, moulded timber window and door architraves, timber lined ceilings and six panelled timber doors to the southern shops; and the internal walls, four panelled timber doors, moulded timber architraves and some moulded timber skirtings to the first floor offices;
 - Mining Exchange Hall and flanking Broker's Booths: asphalt floor, curved (elliptical) exposed roof supported by fine wrought iron trusses, arcaded face brick walls on bluestone footings, stop chamfered brick pilasters with brick mouldings, brick stringcoursing, incised rendered signage panels and projecting cream brick cornices in the exchange hall; timber framed hopper sash fanlights and some timber framing and plastered walls and other details in the broker's booths;
 - Call Room: early coved beaded edged timber lining board ceiling, decorative turned timber Queen Post trusses, and elongated lantern light with frosted glazing. Introduced or repaired fabric includes the Baltic pine timber floor, hard plaster walls and high moulded timber skirtings and white marble fireplace. Other early features include the moulded timber door architraves, three panelled double timber entrance doors on the south wall (altered) and the four panelled timber doors on the south and west walls;
 - Office and Toilets: original passage with beaded edged and stained timber lining board ceiling, painted brick walls, and six panelled and four panelled timber doors. Office (Space T1) with timber lined ceiling, hard plaster walls, moulded timber skirtings and timber framed double hung window;

- As an outstanding historical and social legacy of the wealth and prosperity which resulted from the gold mining activities in Ballarat from 1889 until the early 20th century, and particularly for its associations with the financial and business affairs of gold mining activities in Ballarat during that period;

4. Conservation Policies

A. Exterior Fabric

Policy

It is policy that the exterior of the Ballarat Mining Exchange is conserved to predominantly represent its original (1887) design.

B. Interior Fabric

Policy

It is policy that the interior of the Ballarat Mining Exchange is conserved to predominantly reflect its original (1887) design.

C. Setting

Policy

It is policy that the 19th century streetscape setting for the Ballarat Mining Exchange be retained to support the Victorian Boom Classical styled façade and the reconstructed elaborate cast iron verandah which contribute to the character and architectural significance of this area of Ballarat.

D. Future Development & Control of Physical Intervention

Policy 1

It is policy that any new developments at the Ballarat Mining Exchange account for the significant fabric and integrity of the place, together with the Vision, Mission and Organisational Value Statements and other outcomes provided in the Ballarat Mining Exchange Strategic Plan.

Policy 2

It is policy that all future developments to the Ballarat Mining Exchange are carried out according to:

1. Australia ICOMOS Burra Charter (Appendix 8.06);
2. Conservation Policy, Recommendations & Works & Maintenance Items of this Report;
3. Ballarat Mining Exchange Strategic Business Plan prepared for the City of Ballarat by SED Consulting, October 2001;
4. Building Code of Australia and Health and Safety Regulations;
5. Any additional permit conditions required by Heritage Victoria;

E. Use

Policy

Multi-Function Complex

It is policy that the Ballarat Mining Exchange be utilised in a way that reflects favorably upon its original purpose and cultural significance. The use as a multi-function centre is appropriate, as the building has not been used as an Exchange for many years. Any uses associated with a Multi-Function complex should ensure minimal change to significant fabric and the original associations and meanings of the place should be respected and highlighted.

F. Statutory Constraints

Building Code of Australia

Policy

It is policy that all building works, useage and introduction of amenities for the Ballarat Mining Exchange are carried out in accordance with the appropriate Building Regulations.

Heritage Overlay Controls

Heritage Victoria

Policy

It is policy that the current extent of designation shown in Heritage Victoria's registration be retained. The Ballarat Mining Exchange is included on the Victorian Heritage Register as H391. Approval for buildings, works, demolition, removal etc is required to be obtained from Heritage Victoria.

City of Ballarat

Policy

It is policy that the site continues to be included in the Schedule to the Heritage Overlay in the City of Ballarat Planning Scheme Ordinance (HO65). It is also policy that the building continues to be included within the Lydiard Street North and Camp Street Heritage Area (HO49).

G. Interpretation

Policy

It is policy that appropriate interpretation is provided to give an understanding and appreciation of the history, design, construction and past uses of the Ballarat Mining Exchange:

H. Management

Policy

In addition to the Strategic Business Plan, it is policy that the appropriate management of the Ballarat Mining Exchange includes the conservation, restoration, maintenance, security and responsible use of the significant fabric. This Report should be used as a reference document for all conservation works.

The City of Ballarat and potentially a new Mining Exchange Management Committee has a responsibility to ensure that appropriate strategies take account of the above policy. These strategies should include (but not be limited to):

- Regular maintenance plans that address the Recommendations, Works and Maintenance Items of this Report;
- Security measures: Consideration should be given to installing a security system with satisfactory operation and surveillance;
- Visitor Code of Conduct: At present, there is no appropriate signage regarding visitors' code of conduct. Visitors need to be given an understanding of the significant historic and architectural characteristics of the Exchange Building and that its fabric needs to be treated with care and

respect. A short written policy document available to visitors, and/or a small appropriately located notification panel in the building may be some ways of providing adequate appreciation;

- Car Parking: Potential multi-functional uses of the Exchange Building will require large numbers of car parking spaces at selected times. Consideration needs to be given to addressing this issue;

I. Funding Opportunities

Funding opportunities may be available for restoration works to the Ballarat Mechanics Institute from some Government Departments and agencies. Some of the financial opportunities currently available are included in the Report.

5. Recommendations, Works & Maintenance

The Report establishes a range of Recommendations and Short and Long Term Works and Maintenance for the conservation, restoration, repair and reconstruction of the various exteriors and interior of the Ballarat Mining Exchange. For full details, refer to the Recommendations, Works & Maintenance tables in Section 6 of the Report.

6. Summary of Costs

Full details of the cost of individual items for exterior fabric and interior spaces are provided in Section 6 of the main Report.

SHORT TERM ESSENTIAL	
• INTERIOR WORKS	\$167,700
• ALLOWANCE FOR PRELIMINARIES/OVERHEADS/SUPERVISION/ TEMPORARY WORKS/SCAFFOLDING +15%	\$25,155
TOTAL INTERIOR WORKS	\$192,855
• EXTERIOR WORKS	\$41,170
• ALLOWANCE FOR PRELIMINARIES/OVERHEADS/SUPERVISION/ TEMPORARY WORKS/SCAFFOLDING +15%	\$6,176
TOTAL EXTERIOR WORKS	\$47,346
TOTAL - SHORT TERM ESSENTIAL	\$240,201

SHORT TERM DESIRABLE/LONG TERM ESSENTIAL	
• INTERIOR WORKS	\$72,490
• ALLOWANCE FOR PRELIMINARIES/OVERHEADS/SUPERVISION/ TEMPORARY WORKS/SCAFFOLDING +15%	\$10,874
TOTAL INTERIOR WORKS	\$83,364
• EXTERIOR WORKS	\$1,650
• ALLOWANCE FOR PRELIMINARIES/OVERHEADS/SUPERVISION/ TEMPORARY WORKS/SCAFFOLDING +15%	\$248
TOTAL EXTERIOR WORKS	\$1,898
TOTAL - SHORT TERM DESIRABLE/LONG TERM ESSENTIAL	\$85,261

LONG TERM ESSENTIAL	
• INTERIOR WORKS	\$3,500
• ALLOWANCE FOR PRELIMINARIES/OVERHEADS/SUPERVISION/ TEMPORARY WORKS/SCAFFOLDING +15%	\$525
TOTAL - LONG TERM ESSENTIAL (INTERIOR ONLY)	\$4,025

LONG TERM DESIRABLE	
• EXTERIOR WORKS	\$2,640
• ALLOWANCE FOR PRELIMINARIES/OVERHEADS/SUPERVISION/ TEMPORARY WORKS/SCAFFOLDING +15%	\$396
TOTAL EXTERIOR WORKS	\$3,036
• INTERIOR WORKS	\$68,100
• ALLOWANCE FOR PRELIMINARIES/OVERHEADS/SUPERVISION/ TEMPORARY WORKS/SCAFFOLDING +15%	\$10,215
TOTAL EXTERIOR WORKS	\$78,315
TOTAL - LONG TERM DESIRABLE	\$81,351

GRAND SUMMARY	
TOTAL - SHORT TERM ESSENTIAL	\$240,200
TOTAL - SHORT TERM DESIRABLE/LONG TERM ESSENTIAL	\$85,260
TOTAL - LONG TERM ESSENTIAL	\$4,025
TOTAL - LONG TERM DESIRABLE	\$81,350
TOTAL COST OF ALL WORKS	\$410,835

Note: Further cost breakdowns and summaries of costs can be provided on request.

SECTION 1

1.0 Introduction

PART ONE: THE CONSERVATION ANALYSIS

□ SECTION 1

1.0 Introduction

1.1 Background & Method

This Conservation Management Plan for the Ballarat Mining Exchange, 12 Lydiard Street North, Ballarat, was commissioned and funded by the City of Ballarat in July 2003. A draft Report (virtually an identical version of this report) was completed in early November 2003.

The purpose of Sections 1-4 of this report is to provide an assessment of the aesthetic, historic, scientific and social significance of the place, utilising readily available documentary information, and physical investigations. This assessment was used in Sections 5-6, where policies, recommendations and works and maintenance items were prepared for the conservation and restoration of the significant heritage aspects of the property.

This report has been prepared with consideration to the need by the City of Ballarat to revitalize the building into a Multi-Function complex to maximise the opportunities for new uses, while simultaneously treating the existing significant fabric with care and respect. In this way, the building may become more viable and sustainable in the long term.

Some historical material has been provided by the City of Ballarat, while brief documentary research has been carried out at Heritage Victoria, National Trust of Australia (Victoria), State Library of Victoria and the Public Record Office, Victoria.

All illustrations and photographs used in this report are for research and guidance purposes only. Any commercial reproduction of these illustrations and photos will require Copyright clearance from the respective owners. Site and Floor Plans & Photographic Keys & Integrity Keys are provided as Drawings 1.01-1.04 in Appendix 8.01.

This report reflects the principles embodied in the Australia ICOMOS (International Council on the Conservation of Monuments and Sites) *Burra Charter*, which is the pre-eminent conservation document in Australia. The *Burra Charter* is included in this report as Appendix 8.06.

This report has largely been prepared by Dr David Rowe of Authentic Heritage Services Pty Ltd, PO Box 9169, St. Albans Park, Geelong, 3219, and Wendy Jacobs: Architect & Heritage Consultant, PO Box 193, Ballarat, 3353. Historical research has been provided by Darcy Seller and the cost estimates were prepared by Dr Jim Smith, Building Cost Consultant.

1.2 Acknowledgments

The Consultants acknowledge and greatly appreciate the valuable assistance provided by staff at the City of Ballarat particularly David Miller, General Manager, City and Cultural Development and Vicki Johnson, Heritage and Urban Design Officer.

We are also especially grateful for the support and assistance provided us by Gabby Crowe at Heritage Victoria and Roberta Hood at the National Trust.

1.3 Heritage Listings

The registers of the authorities listed below were searched in September 2003, with the following results:

1.3.1 Australian Heritage Commission

The property known as the Ballarat Mining Exchange, 12 Lydiard Street North, Ballarat, is included on the Register of the National Estate, identification no.: 4046, file no.: 2/03/122/0024. The Statement of Significance reads:

“Former Mining Exchange, 6 [sic.] Lydiard Street North, Ballarat, is one of the few mining exchanges extant in Australia and is illustrative of a fundamental part of Ballarat’s early history. The building forms a vital and singularly important element in the townscape of Ballarat and the important streetscape of Lydiard Street. Architecturally the building is a most important example of Boom style Classicism. Its planning and form is almost unique and the detailing of the exchange is unusual and highly distinctive.”

1.3.2 Heritage Council of Victoria

The property known as the Ballarat Mining Exchange, 12 Lydiard Street North, Ballarat, is included on the Victorian Heritage Register, VHR No.: H391. The draft Statement of Significance (based on information from the Register of the National Estate) reads:

“The Former Mining Exchange, 6 [sic.] Lydiard Street North, Ballarat, comprises a two-storey front block of shops with offices above and the large single storeyed exchange hall at the rear. The building was built during 1887-89 to replace an earlier building and the architect was C.D. Figgis. Prominent rusticated arches, elaborate window hoods and the parapet distinguish the façade. Light trusses, a bullnose roof and arched openings characterise the hall. It is one of the few mining exchanges in Australia and is illustrative of a fundamental part of Ballarat’s early history. The building forms a vital and singularly important element in the townscape of Ballarat and the important streetscape of Lydiard Street. Architecturally the building is a most important example of boom style classicism. Its planning and form is almost unique and

the detailing of the exchange is unusual and highly distinctive.”

1.3.3 City of Ballarat

The property known as the Ballarat Mining Exchange, 12 Lydiard Street North, Ballarat, is included in the Schedule to the Heritage Overlay in the City of Ballarat Planning Scheme Ordinance (HO65). The building is also located in the Lydiard Street North and Camp Street Heritage Area (HO49).

1.3.4 National Trust of Australia (Victoria)

The property known as the Ballarat Mining Exchange, 12 Lydiard Street North, Ballarat, is classified by the National Trust as B3565. The classification (albeit dated) reads:

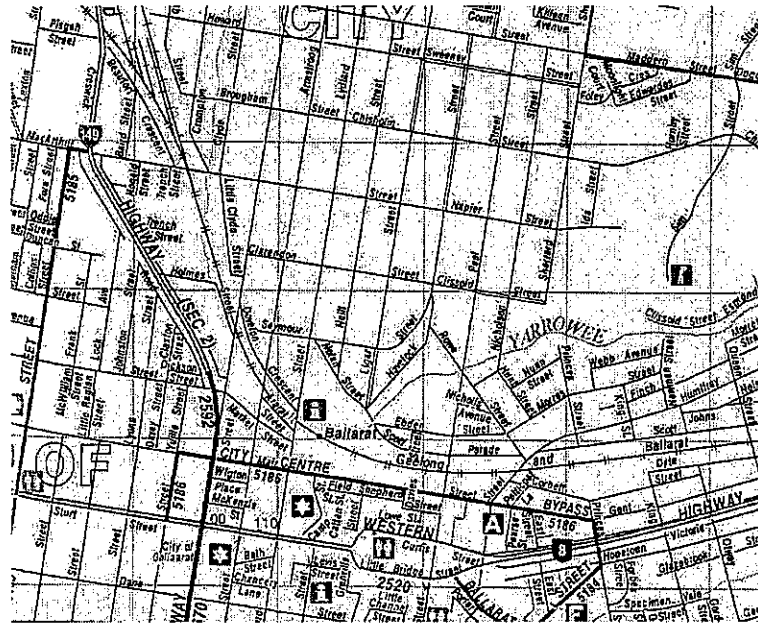
“Significant of the mining era and the Boom Period, this building of 1888, architect C.D. Figgis, has an ornately classical two storey façade surmounted by a balustrade, central pediment and urns (some slightly defaced) in which a wide central arch with a domical reveal leads into the large central hall of the former Exchange where brick arcaded booths along both sides are surmounted by similarly arched clerestory windows at first floor level and a curved iron roof on iron trusses. The ornamental iron verandah was removed in 1964; recent alterations to the shop fronts are excluded from the Classification.”

1.4 Statutory Obligations of Heritage Listings

Because the property known as the Ballarat Mining Exchange, 12 Lydiard Street North, Ballarat, is included on the Victorian Heritage Register and as a heritage overlay on the City of Ballarat Planning Scheme, there is an obligation to refer works for heritage and planning permits.

1.5 Definition of the Property

The property is located at 12 Lydiard Street Ballarat. The site is largely taken up by the two storey Mining Exchange building. The building features a two storey pavilion fronting Lydiard Street North with a projecting reconstructed cast iron verandah at ground floor level. Behind the front pavilion is an elevated, curved (elliptical) Exchange Hall roof form with round-arched arcades of timber framed clerestorey windows separated by projecting face red brick buttresses. Lower flanking wings encircle the northern, southern and eastern sides which have sloping roof forms and parapetted face brick walls. An elevated Call Room roof, identified by an elongated lantern light and parapetted face red brick wall construction, is situated in the north-east corner. Immediately west of the Call Room (north of the exchange hall) is a modestly scaled single storey office and skillion toilet wing with a parapetted west brick wall.



Source of map: VicRoad Country Directory Map 255

SECTION 2

2.0 Historical Evidence

□ SECTION 2

2.0 Historical Evidence

The following historical evidence is divided into three distinct sections. The **first section** deals with the site and building development in the 1850s and 1860s during the gold rush BEFORE the construction of the Mining Exchange building in the 1880s. The **second section** explores the social development of the Ballarat Mining Exchange, including the origins of the Stock Exchange in Melbourne and Ballarat. It concentrates on the importance the building played in the transaction of exchange business and the prominent identities that were part of the social fabric of the place in the late 19th and early 20th century. Later, post-exchange uses are also given. The **third section** investigates the architectural development of the Exchange, including its restoration in the late 20th century.

Refer to Appendix 8.02 for all historical photographs used in this Report. Also refer to Appendices 8.01 & 8.03 for the Drawings and contemporary photographs relating to the various aspects of the building.

2.1 Before the Ballarat Mining Exchange

2.1.1 Ballarat Gold Rush

After the foundation of Melbourne in 1835 and Geelong soon after, squatters in search of good grazing land found the area of Ballarat, with its lush kangaroo grass plains, an ideal place to settle. In August 1837, a co-operative party left Corio Bay at Geelong to prospect for runs. Mount Buninyong was first sighted and a huge run at Murgheboluc was also established. By 1840 all of the grassy plain around Ballarat had been occupied and six years later in 1846 the rougher forested areas to the east and north were occupied by cattle. The cousins Archibald and William Yuille took up possession of the basin beneath Black Hill, some miles of open ground to the west and south, and a northerly segment around Wendouree.

The Ballarat district changed dramatically in 1851 with the discovery of gold. The vast influx of diggers in search of wealth transformed the quiet pastoral plains into a thriving settlement with the establishment of shops, hotels, churches and other forms of town life. Importantly, it brought with it the establishment of a Government Camp to served as the administration outpost of the colonial government 'to protect its interests and keep order on the goldfields.'¹

1 Allom Lovell & Associates with Andrew Long & Associates, 'Camp Street Precinct Ballarat Conservation Management Plan', prepared for the City of Ballarat, November 1999, p.7.

2.1.2 Establishment of a Government Camp at Ballarat

The following history is taken from Allom Lovell & Associates with Andrew Long & Associates, 'Camp Street Ballarat Conservation Management Plan'.

In August 1851, Commissioner F.C. Doveton and Assistant-Commissioner David Armstrong, together with a team of troopers, were dispatched to the Ballarat goldfields. The main aims of the colonial government representatives were to establish order amongst the miners, issuing of mining licenses, settlement of boundary disputes, regulating of bush hotels, and resolving Aboriginal outbreaks. Doveton was further assisted by police troopers under the supervision of Captain William Dana who was later joined by E.P.S. Sturt and Captain Mair. They first set up camp on a site in the vicinity of the present gold museum which was to become known as Post Office Hill. The camp consisted of a series of military tents and by the end of 1851 it also included a rough log guard room and a bark stable.

Between late 1851 and early 1852 the first survey of Ballarat was carried out by W.S. Urquhart. In addition to the laying of the main streets, the Government Camp was relocated from Post Office Hill to a new site on a hill at the edge of the township. The site was bound on three sides by major streets, on the west by Lydiard Street, on the south by Sturt Street and on the north by Mair Street. The eastern edge sloped downwards to the Yarrowee River and the gold diggings. This new site allowed the colonial administrators to overlook the goldfields and provide a sense of authority.

Trouble ensued between the miners and the government officials for various reasons including the Government's failure to build much-needed infrastructure and the corrupt behaviour of some of those in authority. Contempt and resentment grew which led to a strongly independent and anti-authoritarian political culture amongst the Ballarat diggers in the early 1850s. In late 1854, such antagonism had reached such a level that it resulted in the bloody battle between the government troops and the miners at the Eureka Stockade.

After the Stockade, the composition and organization of the government camp was changed, with a number of more democratic reforms introduced including the establishment of local courts of mines elected by the diggers. The military presence was greatly reduced and by 1858 the troopers had disappeared altogether.

Several buildings in the government camp previously occupied by military were given to the police. On the northern side of the site, the old barracks were occupied by the local hospital.

2.1.3 Government Buildings on the Mining Exchange Site

The following history is taken from Allom Lovell & Associates with Andrew Long & Associates, 'Camp Street Ballarat Conservation Management Plan'.

The government camp was surrounded by a timber paling fence and was under constant guard. Throughout the 1850s and early 1860s (even after the removed of the military in the late 1850s) the camp site continued to grow. It became a small settlement in its own right, with numerous buildings of slab or weatherboard construction of varying sizes and forms. These buildings included barracks, lockups, stables, local court, orderly room, police buildings, residences, mining board room, post office, other administrative offices, treasury and a telegraph office. There was also a large vegetable garden and orchard to the north-east of the site.

The buildings in the vicinity of the Ballarat Mining Exchange building included the Electric Telegraph Office, stores, gaol, and the gaolkeeper's lodge. The Telegraph Office, located on a site fronting Lydiard Street, was one of the more substantial buildings in the camp, being built of bluestone in c.1856-57. The gaol buildings were situated to the east, towards the centre of the site.

2.1.4 Land Transfer

In the late 1870s and 1880s three reservations were created on the Public Buildings Reserve on the southern half of the government camp site.² This Reserve had been established in 1865, when the camp site was divided into two major reserves; the other being a Police Reserve.³

The third reservation of the late 1870s and 1880s was created for a Market Reserve and was granted to the City of Ballarat. According to Allom Lovell:

This reserve fronted Lydiard Street, taking in lots 64 and 64 [sic. – 66?] (formerly the Telegraph Office and Subtreasury), and extending through to Camp Street. The Council was granted a temporary reservation over the land in May 1879, and over the next few years, carried out various improvements. Council purchased 'a stone building [probably the Telegraph Building of 1856] and a wooden building from the Minister of Public Works' and removed and re-erected a 'workshop of the Telegraph Department.' (This workshop was the bluestone building to the rear of the Telegraph building, which was relocated to the Post Office yard). In addition, the Council paid compensation to a police constable residing in one of the buildings on the reserve and constructed a galvanised iron fence around the reserve.⁴

2 Ibid.

3 Ibid.

4 Ibid.

In the ensuing years, the Ballarat Council applied to the Government for the freehold of the land for municipal purposes.⁵ This application was successful and the transfer was completed on 14 May 1885.

The freehold included Crown Allotment 66 of Section 4A (Figure 2.01) which was to become the site of the Ballarat Mining Exchange.⁶

2.2 Ballarat Mining Exchange: Social Development

2.2.1 Historical Background of the Stock Exchange in Melbourne & Ballarat

Ballarat played a critical role in the development of the Stock Exchange in Victoria. The gold discoveries in the early 1850s provided the opportunity for the maturity of business and industry through the flotation of companies.⁷ This flotation 'marked a definite forward step in the development of the Colony,'⁸ and it was the changing nature of gold mining that provided the impetus:

... after the alluvial miners of the earliest days had cleaned out the best surface deposits, the chief goldfields began to lose their character as "poor man's diggings," the expense of sinking below the alluvial bottoms to the deep leads and quartz reefs being beyond the financial resources of the individual digger. Deep sinking became quite common in Ballarat in 1855 when shafts went down to 200 feet and had to be timbered; consequently, the diggers found themselves under the necessity of seeking outside help to finance growing expenditure. Groups, therefore, combined to provide the necessary funds, and gradually the general public were admitted to partnership through the purchase of shares in mining syndicates or companies. Before long a new class arose whose source of livelihood was the buying and selling of shares in claims, and out of this grew the meeting of share dealers at the famous "Corner" in Ballarat.⁹

Sharebrokers and share jobbers apparently initially assembled at a site between the Mechanics Institute building and the Unicorn Hotel in Sturt Street as early as 1857.¹⁰ This was only one year after the first definite proposal to establish a Stock Exchange in Melbourne was published in *The Argus*.¹¹ Furthermore, the assemblies of sharebrokers and jobbers in Ballarat in 1857 was the same year as the establishment of the "unofficial" Melbourne Stock Exchange. It opened for regular business in 1859, and was headed by J.B. Were.¹²

5 *The Courier*, 30 July 1975.

6 *Ibid.* & Allom, Lovell, *op.cit.*

7 *The House of Were 1839-1954: The History of J.B. Were & Son And Its Founder*, Jonathan Binns Were, J.B. Were & Son, Melbourne, 1954, p.68.

8 *Ibid.*, pp.70-71.

9 *Ibid.*

10 Withers, *op.cit.*, 1999 edn. This edition of Withers's publication varies from the 1980 edition. In the 1980, Withers states that the first exchange was the wooden building which by 1887 had become the Academy of Music. He further states the first exchange started in the 1860s. However, the more recent 1999 edition claims that the first exchange was on a site between the Mechanics Institute and the Unicorn Hotel, and commenced in 1857.

11 *The House of Were*, *op.cit.*, p.74.

12 *Ibid.*, p.77.

By the beginning of the 1860s, stock brokers in Ballarat had moved to a wooden building 'over an old shaft', a site that later in 1887 was occupied by the Academy of Music and which is currently Her Majesty's Theatre in Lydiard Street South.¹³

In 1862, Ballarat was 'the paradise of the stock jobber.'¹⁴ *The Argus* disparagingly reported at the time that 'the evil spirit that wrought so much mischief in Collins Street less than two years ago' had been transferred to Lydiard Street.¹⁵ At this time, brokers, jobbers and others congregated for the exchange of information and the conduct of share transactions at "The Corner"¹⁶ (Figure 2.02). This was large wooden building on the south-eastern corner of Sturt and Lydiard Streets, where the Commonwealth Bank now stands.¹⁷

The son of J.B. Were, J.H. Were, left Melbourne in 1863 and went into business at Ballarat.¹⁸ The following year in 1864, he joined Michael Walsh to establish the firm of Walsh and Were (and later Walsh, Were and Moore).¹⁹ This firm took part in the formation of the Ballarat Stock Exchange at that time.²⁰

2.2.2 Development of the Old Mining Exchange, Ballarat

By mid 1865, the Ballarat Stock Exchange opened offices in Bones Building (formerly a drapery store), which was located between the Mechanics Institute and the Unicorn Hotel in Sturt Street.²¹ The *Ballarat Star* reported the opening as follows:

The new Mining Exchange just opened by Messrs Broadbent and Co., near the Corner, promises to absorb the Corner itself. Already it is a place of great resort and bustle, and when it is enlarged, will no doubt be still more frequented and still more busy.²²

By September 1865, the Exchange hall (now the Mechanics Institute Library) was completed.²³ The hall was linked to the front offices (Bone's Building) by a wide, arched opening, while the hall itself was:

.... Surrounded on three sides with two stories of suites of offices, lighted by a glass roof. Round the upper story runs a balcony with a balustrade of open ironwork of light and tasteful design, the open roof and its timbers being ornamented with a series of mouldings, and the woodwork of the fronts elaborately moulded and painted, much in the

-
- 13 Withers, *op.cit.*
14 *The House of Were, op.cit.*, p.99.
15 *Ibid.*, pp.98-99.
16 *Ibid.*, p.99 & Withers, *op.cit.*
17 *Ibid.*
18 *The House of Were, op.cit.*, p.98.
19 *Ibid.*, & Withers, *op.cit.*, p.236.
20 *The House of Were, op.cit.*
21 Withers, *op.cit.*
22 *Ballarat Star*, 24 April, 1865.
23 *Ballarat Star*, 29 September, 1865 & 18 October, 1865.

style of the offices already tenanted near the entrance from the street.²⁴

A door opening on the western wall of the hall also opened into the Unicorn Hotel, where stock brokers' offices were accommodated in a passage of the building.²⁵ A semi-circular rose window on the northern gable provided additional light.

The opening of the Exchange Hall was a defining moment in the history of stockbroking in Ballarat and more broadly, in Victoria, and the building became a scrip-seeker's mecca and a hub of Ballarat's share trading for the next 15 years. The *Ballarat Star* proudly reported on the importance of the building in 1865:

The now just-finished Miners' Exchange is one of the most creditable things of the kind in Ballarat. We have certainly had buildings with suites of offices before, but nothing so large and so complete as the exchange now fully opened by Messrs Broadbent and Binney. The Temple Chambers in Melbourne are superior, but the Chamber of Commerce, in Collins street, is hardly equal, and certainly no better than the Ballarat Exchange. The Exchange now covers the whole of the area belonging to the proprietors and has a suite of seventeen or eighteen spacious offices, including the second storey range in the newer portion of the building. By a glass roof there is an abundance of light in the building ... The ample arena of the exchange affords room for the promenading of a large number of the frequenters of 'change.'²⁶

In 1935, the Old Mining Exchange Hall in Sturt Street was acquired by the adjoining Ballarat Mechanics Institute and converted into the Institute Library soon after.²⁷

2.2.3 Development of the Ballarat Mining Exchange, Lydiard Street

A. Evolution of the Ballarat Mining Exchange, Lydiard Street

The Ballarat Stock Exchange in the Exchange Hall in Sturt Street was not the only body formed in 1865 in Ballarat to exchange information and carry out share transactions. A group known as the Ballarat Incorporated Brokers' Association operated in opposition to the Ballarat Stock Exchange.²⁸ The reason for this second Exchange primarily related to the question whether members should act solely as agents for clients, or as principals or jobbers.²⁹ During the proceeding years, these differences between the Exchange members were resolved, 'and the Ballarat Stock Exchange was placed on a sound basis.'

A single Stock Exchange body in Ballarat was however to be short-lived. In 1882, a second Stock Exchange was established, operating in

24 *Ibid.*

25 Withers, *op.cit.*

26 *Ballarat Star*, 18 October, 1865.

27 W. Jacobs & D. Rowe, 'Ballarat Mechanics Institute Conservation Management Plan', prepared for the Ballarat Mechanics Institute, Ballarat, January 2001.

28 *The House of Were*, *op.cit.*, p.99.

29 *Ibid.*

opposition to the Ballarat Stock Exchange in Sturt Street and was known as the 'Royal Exchange'.³⁰

In 1885, the two rival Exchange bodies permanently amalgamated and became known as the Ballarat Mining Exchange Limited.³¹ In May 1888, with an upsurge in trading brought about by the mining boom, the Ballarat Mining Exchange Limited entered into a 30-year lease with the Ballarat Council for the use of Crown Allotment 66, Section 4A which had been granted to the Council in 1885.³² As part of the lease agreement, the Exchange Company was 'to erect an approved building of stone and brick, to cost at least £5000, within 12 months.'³³

B. Original Use of the Mining Exchange in Ballarat

With the opening of the Ballarat Mining Exchange in Lydiard Street in 1889 came with it the frenzied activities of the brokers and jobbers and others associated with transacting mining business. In total, there were initially 98 members enrolled and each paid £100 for a seat on the exchange.³⁴ The stock list included 108 mines, most of which were in the Ballarat area.³⁵ Figures 2.03 and 2.04 show the large numbers of brokers, jobbers and managers in the main hall of the Exchange in c.1890 and c.1900.

The two long rows of cubicles either side of the main hall were the booths of the brokers. The Call Room at the rear was the location where the actual sales occurred (Figure 2.05). Upstairs were additional offices, with shops on the ground floor, including the Mining Exchange Manager's Office. In 1892, *The Leader* newspaper satirically declared that the Exchange building was 'the rendezvous of brokers, jobbers and idlers, who while away the time smoking and gossiping, with an occasional visit to the "George" [hotel] opposite, just to "moisten their clay".'³⁶

Between 1889 and the 1940s the Exchange building served its original function (either in full or part) as the location of the stock broker. From the total of 98 brokers enrolled in 1889, there were approximately 18 brokers and/or mining agents listed in 1903.³⁷ However in 1912, the *Sands and McDougall Directory* indicates that there were at least 56 brokers, together with staff of the Mining Manager's Association, another legal manager and a correspondent from *The Age* newspaper.³⁸ It appears that these years leading up to the First World War in 1914 were the final years of such thriving exchange activity in the building (Figure 2.06).

30 *Ibid.*, p.113.

31 'Ideas for Old Mining Exchange' in *The Courier*, Ballarat, 30 July 1975.

32 *Courier* 1975, *Ibid.* & Allom Lovell, *op.cit.*

33 *Courier*, *op.cit.*

34 *Heritage*, October 1974, p.6, National Trust of Australia (Victoria) file no. 3565.

35 J. Clarke, 'Ballarat's new exchange' in *The Courier*, Ballarat, 7 January 1984.

36 *The Leader*, 8 October 1892.

37 *Sands & McDougall Directory of Victoria*, 1903.

38 *Ibid.*, 1912.

During the First World War, gold mining in the Ballarat area dwindled to an extent that made the Exchange building virtually redundant.³⁹ In 1920, the Ballarat Mining Exchange and Ballarat Stock Exchange continued to occupy the building, with Thomas Antcliffe and Thomas Opie two of the continuing sharebrokers.⁴⁰ Another long-serving broker in the building was Frederick W. Holst. He is listed with the Ballarat Stock Exchange as the one of the only remaining links to the original Exchange function in 1941.⁴¹ After the close of the Second World War in 1945, the Exchange function of the building had come to an end.⁴²

C. 19th Century Mining Managers in Ballarat

Indelibly linked to the Ballarat Mining Exchange during the late 19th and early 20th centuries were the prosperous Mining Managers of the local gold mines. In 1896, the *Illustrated Australian News* gave a detailed account of these men 'who in some instances have for nearly 40 years been engaged in exploring the "bowels of the earth" in quest of golden treasure.'⁴³

The following brief biographies of some of the Mining Managers has been taken from the *Illustrated Australian News* for 1896 and gives some indication of the background of those associated with the Exchange and the mining developments that were occurring at that time:⁴⁴

R.M. Serjeant

Conspicuous in the collection is Mr. R.M. Serjeant, the general manager of the Band and Albion Consols Company, who has been associated with the great mine named for a lengthy period. Band and Albion stock has been comparatively dormant in the market for a long while, but under the able supervision of Mr. Serjeant considerable improvements have been recently effected to the costly machinery and plant, and as the underground works are to be extended in various directions important developments are anticipated at no distant date.

W.H. Wooldridge

Mr. W.H. Wooldridge is also one of Ballarat's oldest managers. He is now controlling operations at the New Garden Reef at Moonambel, and the shareholders of the venture are hopeful of a lucrative return for their outlay. In Ballarat Mr. Wooldridge was last connected with the Victorian United.

J. Henderson

Mr. J. Henderson for a good many years has directed affairs at the Black Hill mine, Ballarat East. He is an experienced miner, and his managership has given great satisfaction to the company.

39 *Heritage*, op.cit.

40 Sands & McDougall, *op.cit.*, 1920.

41 *Ibid.*, 1921, 1928, 1934, 1941.

42 The Sands & McDougall Directory for 1949 and subsequent years does not list any association with the former Exchange function.

43 *The Illustrated Australian News*, 1 January 1896, pp.16-17.

44 *Ibid.*

W. Treloar

Mr. W. Treloar, although still a comparatively young man, has been connected with mining in the Ballarat district since 1855. He was quite a boy when he arrived from Cornwall, and for fully 25 years he has acted as mining manager. He has served various large companies in Ballarat, Queensland and New South Wales. Now he is recognized as a trustworthy mining expert, and his services are frequently sought by investors desirous of securing reliable reports as to the prospect of claims offered to the public as speculations.

W. Hicks

The name of Mr. W. Hicks is closely allied with the history of the celebrated Star of the East Company, Sebastopol. In former days he managed the well-known Winter's Freehold. In the early eighties he accepted the legal managership of the Star of the East, when it was in a critical position financially. Mr. Hicks relates, so poor was the company that shopkeepers would not give him, as legal manager, credit for a box of candles for use in the mine. Subsequently the company, when rich gold was struck, became one of the wealthiest corporations in Australia, and employment was daily afford to 400 hands. When prosperity dawned, Mr. Hicks was filling the position of mining manager, a post which he still holds with credit.

J.R. Williams

Mr. J.R. Williams is at present mining manager of the Sulieman Pasha Company, Ballarat East. He started mining work in Cornwall as a 7 year old boy, and before assuming charge at the Sulieman Pasha, he was engaged at the Hepburn Estate, Working Miners and other extensive holdings. He is classed among the most capable of Ballarat miners.

A. Jenkin

The manager at the claim of the Prince of Wales and Bonshaw United is Mr. A. Jenkin. As the mine is one of the largest in Ballarat his responsibilities are not of a light character, but everything proceeds satisfactorily, both above and below ground and the prospecting carried on by Mr. Jenkin is watched with interest by those who profess to know "the lay" of the country.

Andrew Pearce

Mr. Andrew Pearce, so well known as a breeder of prize fowls is "monarch of all he surveys" at the Last Chance claim, Ballarat East, which has paid £23,500 in dividends, and £74,540 in wages; and the property is now under offer to an English syndicate for £40,000.

John Sharpe

Mr. John Sharpe, secretary to the Amalgamated Mining Managers' Association of Australia, has resided in Ballarat since 1852. In 1853 he was the manager of the co-operative party who worked in that part of Ballarat known as "the Jeweller's Shop," so named owing to the ground bristling with gold. Mr. Sharpe has since managed numerous large companies.

W. Gale

Mr. W. Gale, J.P., ex-mayor of Ballarat East, was in the early life a navigator serving as first mate of Australian emigrant ships. On retiring from the sea he worked as a miner in and around Ballarat with success, and is now in affluent circumstances. Mr. Gale has expended large sums of money in mining, and holds valuable interest in the Llanberris and other companies. During his mayoralty he gave a ball to the citizens of Ballarat at a cost of over £400. Among the guests were the Governor, Lord Hopetoun, and other distinguished and representative gentlemen.

**D. Other Occupants Of the Mining Exchange Building
Cater and Foord Opticians⁴⁵**

After 1903, a shop at the Mining Exchange was leased to Cater and Foord Opticians. They are recorded at 6 Lydiard Street (a shop at the Exchange building) from 1912 until at least 1934 (the Mining Exchange building was originally addressed as 6-14 Lydiard Street).

Leo Casper, Optician⁴⁶

Another optician to occupy the exchange building in the early 20th century was Mrs Leo Casper. She is listed an occupier from at least 1912 until 1920.

Barlow Motors/Exchange Service Station⁴⁷

As previously stated, the demise of the Ballarat Mining Exchange commenced after the First World War. In 1921, the Ballarat Council leased the building to a syndicate for £10 per week. The main exchange hall became the home of Barlow Motors, agent for Buick and Vauxhall cars (Figure 2.07). Barlow Motors continued occupancy until c.1940, as by 1941 the main hall was leased to the Exchange Service Station Motor Garage. This business continued to operate in the Exchange building until 1970-72. In addition, C.V. Jones's Used Furniture business was also operating in part of the building in 1956, as was B. Cook's cartage contracting business and Ansett Roadways, and by 1963 Cream Top Taxis had taken the place of Jone's furniture business.

Bickarts Jewellers⁴⁸

Joseph Bickarts operated his jewelers shop at 12-14 Lydiard Street, the southern-most shops of the Exchange building. He advertised his business premises in the *Ballarat Star* newspaper on 19 December 1923, stating that Bickarts and Hudson Jewellers were 'next to Barlow's Garage'.

45 Sands and McDougall, *op.cit.*, 1912-1941.

46 *Ibid.*, 1912, 1921.

47 *Ibid.*, 1921-1970, *The Courier*, *op.cit.*

48 *Ballarat Star* newspaper, 19 December 1923, Sands & McDougall, *op.cit.*, 1934, 1941.

Cafes⁴⁹

Several café operators occupied one of the shopfronts of the Exchange building from the 1950s. J. Eddy was recorded at 12-14 Lydiard Street in 1956, while Mrs M. Garnham occupied this address in 1963. In 1970, the café was known as the Majorca Coffee Lounge. Prior to the establishment of the cafes, a Miss I. Hill operated a confectionary business at this address.

Wilkins Eastern Busways⁵⁰

By 1970, the main hall of the Exchange building had been leased by the Ballarat Council to Wilkins Busways (Figure 2.08). It was also used by 'all country bus services, four mail cars and two freight services'. The lease continued in 1975, when the building was also occupied by R. and N. Reynolds and Mobil Oil.

Ballarat Branch of the National Trust of Australia (Victoria)⁵¹

In 1982, the Ballarat Branch of the National Trust was successful in leasing 3 rooms of the building where a commercial shop was operated.

Art Conservation Laboratory⁵²

After 1976, the former Call room and three adjacent offices were acquired by the Regional Galleries Association as an art conservation laboratory.

Rotary Club of Ballarat East Craft Markets⁵³

From September 1983, the Rotary Club of Ballarat East leased the main hall and broker's booths from the Ballarat Council to operate a craft market on the second Sunday of each month. The markets were very successful, with 30-40 stallholders making available goods to the hundreds of people who attended.

Antique Gallery & Market

From c.1988 to c.1998, the former Mining Exchange building also operated as an antique gallery. This gallery made an important contribution to the tourist development of Ballarat.⁵⁴ In 2003, the building is used as part of the monthly Camp Street Sunday Market.

49 *Ibid.*, 1949, 1956, 1963, 1964, 1968, 1970.

50 *Ibid.*, 1970, *Courier* newspaper, Ballarat, 7 January 1974.

51 National Trust of Australia (Victoria) file no. 3565.

52 *The Courier* newspaper, 7 May 1980, Heritage Victoria file no. 601284.

53 Clarke, *op.cit.*

54 Wendy Jacobs, personal comment, 2003.

2.3 Ballarat Mining Exchange: Architectural Development

2.3.1 Initial Construction

In accordance with the proposed lease agreement with the Ballarat Council, the Ballarat Mining Exchange Company Limited set about preparing for the construction of a substantial Exchange Building in 1887. The local architect, Charles Douglas Figgis, was commissioned to prepare the design. On 23 April 1887 he called tenders for the new building in *The Argus* newspaper.⁵⁵ W. Robertson was the successful contractor with a tender price of £4,700.⁵⁶ The foundation stone was laid on 21 June by Thomas Stoddart during Queen Victoria's Jubilee year of 1887.⁵⁷ Stoddart was one of the oldest members of the Ballarat Exchange and a Director of the Ballarat Trustees Company, one of the most successful institutions of its kind in Australia.⁵⁸

In 1887, prior to the completion of the Exchange building, Figgis provided the following description of his design:

The site has a frontage of 66 feet to Lydiard Street, by a depth of 180 feet towards Camp Street, and being irregular in plan will have a rear frontage of 99 feet. The building will be two storey in height to Lydiard Street for a depth of 35 feet, behind which portion of the building is one storey, and consist of a main exchange hall surrounded by offices, branching off which is a large room for the meetings of the Exchange. The Lydiard Street façade upon the ground floor has four shops or office fronts, and a broad central entrance under semi-circular and elliptic arches. A plain Tuscan cornice divides the ground floor which is pierced by nine windows in three compartments separated with plain brick pilasters. The architrave cornice, and window moulds will be in stucco, and between the balustrading of the windows and the top of pilasters black polished bricks will be used, tuckpointed with white joints. The style is adapted modern Italian, and the upper portion of the façade is simple in character and surmounted with bold cornice and open balustrading. A paved vestibule leads from Lydiard Street to the Exchange, which measures 126 by 37½ feet. There will also be an entrance from Camp Street, and another from the police Camp lane. The roof will be of iron, elliptical, and there will be semi-circular cleristery [sic.] lights on three sides. The floor will be of asphalt. Mr. W. Robertson is the contractor, and the tender for £4007 does not include lime and other things, whose cost will probably bring the total near £5000. Mr. Trembath is clerk of works.⁵⁹

55 *The Argus*, Melbourne, 23 April 1887.

56 Jacobs Lewis Vines, Ballarat Conservation Study, vol.2, p.127.

57 JLV Ibid. & *Heritage*, op.cit.

58 For biographical details on Thomas Stoddart, refer to J. Smith (ed.), *Cyclopedia of Victoria*, Cyclopedia Co., Melbourne, 1905, vol.2, p.256 & <http://www.ballarathistory.org.au/gardesta.html>.

59 Jacobs Lewis Vines, op.cit., quoting Withers, op.cit.

The completed building (Figures 2.09-2.10) was in accordance with Figgis's description as an article in *The Leader* on 8 October 1892 provided a similar account of the Exchange. *The Leader* described the building as follows:

The Exchange is a noticeable object as the centre of the city is approached from the railway station. It is built of brick in the Italian style, with elaborate enrichments in cement, and has a spacious and elegant verandah with an ornamental and semi-circular arch in the centre. The hall shown in our engraving is highlighted by upper windows and fitted with handsome gas burners. The floor is covered with asphalt and has brokers' and other offices on either side.⁶⁰

2.3.2 Demolition of Front Verandah

Few changes appear to have been made to the Exchange building until 1964 with the demolition of the original front verandah. Apparently at this time 'there was a general trend to remove post-supported verandahs'⁶¹ (Figures 2.11-2.12). The removal of the verandah altered the street presentation of the building markedly.

2.3.3 Rear Alterations

By 1970 with the occupation of Wilkins Busways, came some changes to the rear (east) of the building. Two of the eastern offices were combined into one larger space. The double arches on the inner wall were altered into one larger arch (Figure 2.08) and a substantial opening was created in the external east wall to allow for bus access.

2.3.4 Restoration & Renovation of the Exchange Building

A. Initial Proposals & Works

Interest in the significance of the exchange building and concern about the state of its disrepair became an important community issue from the early 1970s. In October 1974, a Citizen's Committee was established and its members were 'unanimous that every effort should be made to retain this building – not only for its historic value but because its architecture was an integral part of the appearance of Lydiard Street.'⁶²

The Committee found that 'the roofing was in urgent need of repair [Figures 2.13-2.14], and the wooden floors in cubicles around the main hall were most rotten [Figure 2.15]. The walls were sound but continue dampness could cause rapid deterioration. The big gold room [call room] at the east end was generally sound though part of the ceiling had rotted [Figure 2.16]. Many windows were broken.'⁶³ The Committee included Cr. J.A. Chisolm, Cr. J.L. Dick, Ewan Jones, G. Binns, J. Northey, K. Carney, G. Jenzen, Mrs J. Hendy, Mrs. M. Harvey and B. Wilkins.⁶⁴ The group resolved that the building should 'house some lively activity and that it should be an economically viable proposition.'

60 *The Leader, op.cit.*

61 *The Courier* newspaper, Ballarat, 7 May 1980.

62 *The Courier*, newspaper, Ballarat, 30 July 1975.

63 *Ibid.*

64 *Ibid.*

Following the resolutions of the Citizen's Committee, a Council sub-committee was formed in early 1975 to examine the future use and repair of the building. This sub-committee comprised the Mayor, Sir Arthur Nicolson, Cr. J.A. Chisolm and Cr. J.L. Dick.⁶⁵ The sub-committee favoured the extension of library facilities in the exchange building: notably accommodation and service centre for two Mobile libraries at the rear of the building, a library theatre in the former gold room [call room] and a library or art gallery in the main hall.⁶⁶ Shops, car parking for 30 cars and office accommodation were also considered.

Immediate remedial works that were required at this time included the following:⁶⁷

- Complete overhaul of roofing and skylights to make watertight;
- Reconstruction of toilet block;
- Repairs to damaged walls in the car park area;
- Replacement of floors and repairs to asphalt;
- Rebuilding of offices on first floor and remodeling on ground floor;
- Painting and cleaning inside and out;

On 10 November 1976, the Ballarat Mining Exchange building was formally registered by the Historic Buildings Preservation Council.⁶⁸ The Ballarat City Council subsequently received a grant of \$35,000 for the Historic Buildings Preservation Council for roof restoration and the water proofing of the upper windows in the exchange hall.⁶⁹

Further funding was soon obtained from the Ministry of the Arts for the restoration of the Call Room and three adjacent offices for use as an art conservation laboratory. By August 1977, these works were 'well advanced.'⁷⁰

B. Restoration Works

In May 1980, the Ballarat City Council sought \$180,000 from the National Estate Grants Program (a Commonwealth Government initiative) to restore the Mining Exchange. In addition, the Council was to provide \$75,000.⁷¹ The works proposed include the restoration of the render and detailing of the front façade of the building, reconstruction of the verandah, restoration of the main hall and cubicles and other associated works.

By September 1983, scaffolding had been erected for the restoration of the main façade⁷² (Figure 2.17).

65 *Ibid.*

66 *Ibid.*

67 *Ibid.*

68 Heritage Victoria file, op.cit. & *The Courier*, 7 May 1980.

69 *Ibid.*

70 *The Courier* newspaper, Ballarat, 20 August 1977.

71 *The Courier*, 7 May 1980.

72 *The Courier*, 22 September 1983.

Application was also made to the Historic Buildings Council in that year for the reconstruction the verandah. This involved the preparation of specifications and drawings by G.D. and N.E. Hewitt Pty Ltd, Design and Drafting Consultants in June 1983.⁷³

By 1985, the reconstruction of the front verandah was in progress. Some original cast iron components had been uncovered in a wrecker's yard in Ballarat by the Junior Group of the Ballarat Branch of the National Trust in 1977⁷⁴ (Figure 2.18). Also in that year, the Secretary-Treasurer of the Trust (and later Council officer involved with the restoration works) Gerald Jenzen, discovered a verandah column in a private garden in Sims Street.⁷⁵ This column was recast new columns to match the original. Other ironwork was found further away in Dubbo, New South Wales.⁷⁶ Some modifications were made with structural steel members introduced into the columns to provide additional structural support.

Restoration works for the north side of the broker's cubicles was also in progress in 1985. Replastering, reconstruction of timber partitions, new timber floors, painting and electrical rewiring was carried out⁷⁷ (Figures 2.19-2.20).

The introduced paintwork over the decorative brick walls and arcades in the main hall was also removed at this time.⁷⁸

C. Introduced Electricity Substation

In June 1987 the State Electricity Commission applied to the Ballarat City Council to introduce an electrical substation within two of the southern broker's cubicles (west end).⁷⁹ These works were subsequently carried out and timber and glazed cubicle partitions were reconstructed.

D. Later Works

Further restoration of the broker's cubicles appears to have continued in the early 1990s.⁸⁰ In 1990, the elaborate iron gates in the main entrance to the exchange building were straightened and painted, and barbed wire was removed.⁸¹ Also in the early 1990s, aluminium framed glass double doors were introduced in the entrance, a trench duct was introduced in the centre of the exchange hall floor and gas heater added, toilets were upgraded, exchange hall floor was recoated in asphalt and the first floor offices were altered and refurbished.⁸²

73 Heritage Victoria file, op.cit. & National Trust file, op.cit.

74 *The Courier*, 20 August 1977.

75 *Ibid.*

76 *Ibid.*

77 G. Jenzen, Memorandum to City Engineer, September 1985, City of Ballarat files.

78 *Ibid.*

79 Heritage Victoria file, op.cit.

80 See drawings of the Ballarat Mining Exchange dated August 1990, City of Ballarat files.

81 *Ibid.*

82 *Ibid.*

2.3.5 The Principal Architect: Charles Douglas Figgis

Charles Douglas Figgis was born in Dublin, Ireland in 1848 to English parents, Samuel and Sarah.⁸³ Emigrating on the ship "Severn" with his parents, two brothers and sister, he arrived in Victoria in 1852 at the age of 4.⁸⁴

No details are known of Figgis's architectural training. In c.1870 he appears to have moved to Ballarat as around this time he was the Secretary of the Ballarat Gas Company.⁸⁵ In 1878, he married Zilla Ann Price and their first child, Ruby Kate was born in Ballarat in 1879.⁸⁶

It appears that in the early 1880s the local architect, Henry Caselli, took Figgis into partnership. Figgis's entrance into the Caselli practice may have been to provide the ageing Caselli with some much needed support and assistance. In 1882, they designed the Ballarat College and the Congregational Church, Dawson Street, Ballarat.⁸⁷ This was the year when his son, Charles Samuel, was born.⁸⁸ Between 1883 and 1884 they were responsible for the additions to the Ballarat College, St. John's Sunday School at Soldier's Hill, and the Warrnambool Savings Bank.⁸⁹

In 1885, Caselli and Figgis were successful in gaining the prize commission to design the Ballarat Water Board Building at the corner of Lewis and Grenville Streets, Ballarat.⁹⁰ On 24 June 1885, the corner stone was laid for the large two storey rendered brick Victorian Renaissance Revival styled building. Caselli died in June 1885 and Figgis was left to administer the contract.⁹¹ In addition to this commission, Figgis also called tenders for the erection of the Public Baths at Belfast (Port Fairy).⁹²

In the following year, 1886, Figgis entered in partnership with Richard Loweish and Frederick Moorhouse, R.I.B.A. Their offices were at 86 Collins Street west, Melbourne,⁹³ although Figgis was still residing in Ballarat as his third child, Irene Sarah, was born at their home in Ligar Street in November 1886.⁹⁴

The partnership of Loweish, Moorhouse and Figgis was short-lived. In 1887, Figgis was again practicing alone. It was in this year when he took up the sort-after commission of designing the Ballarat Mining

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- 83 Immigration Index of British Ports 1851-1860, information from the passenger list of the 'Severn', arrived November 1852.
- 84 Ibid.
- 85 Withers, *op.cit.*, p.172, in M. Lewis, *Australian Architectural Index*, University of Melbourne, Parkville, 1979.
- 86 Victorian Pioneer Index 1837-1888.
- 87 Authentic Heritage Services Pty Ltd, 'Glenfine Homestead, Cape Clear', Comprehensive Heritage Report, 1999.
- 88 Victorian Pioneer Index, *op.cit.*
- 89 Authentic Heritage Services Pty Ltd, *op.cit.*
- 90 W. Jacobs & D. Rowe, 'Former Ballarat Water Board & Protestant Hall Buildings, Ballarat: Conservation Management Plan', prepared for Davrod Pty Ltd, Ballarat, June 2003.
- 91 Ibid.
- 92 Lewis, *op.cit.*
- 93 Ibid.
- 94 Ibid. & Victorian Pioneer Index, *op.cit.*

Exchange Building. The following year of 1888 was particularly successful for Figgis. He designed a large skating rink at Mentone⁹⁵ and the Geelong Club in Brougham Street, Geelong and the Ballarat Club in Dana Street, Ballarat.⁹⁶

Of particular interest in the two latter buildings was Figgis's varied and artistic use of brickwork. Both the Geelong and Ballarat Clubs have circular face brick columns that were formed by specially curved bricks to fit the circumference of the column. Figgis's modeling of brickwork continued at the Ballarat Mining Exchange with the decorative brick arcades having stop chamfered piers, elaborate stringcourses and the crowning cornices in the Exchange hall. The elegant timber staircase at the Exchange also has an affinity with the stairs at the Geelong Club, as does the large timber lined and coved ceiling and exposed turned timber truss system.

The increased workload in Figgis's office brought with it additional staff and G.E. Molloy and E.H.P. Price were articulated to him in 1888.⁹⁷ In 1889, Figgis designed the additions to the Free Library in Ballarat, a woolstore in Geelong and a bluestone church at Mentone.⁹⁸ With his family he appears to have moved to Melbourne.

Figgis was also responsible for the design of the substantial homestead known as Wando Dale in the Western District in 1891, and the large brick home, Kirrewur Court, Newtown, at this time.⁹⁹ His commissions continued to be widespread throughout Victoria in the ensuing years, as he was responsible for the designs of the Presbyterian Churches in Coleraine and Castlemaine in 1892 and 1894 respectively.¹⁰⁰

Figgis's life ended prematurely in 1895 at the age of 46 years. He died at his residence in Mentone and his funeral service was held at the Mentone Memorial Presbyterian Church.¹⁰¹

95 Lewis, op.cit.

96 D. Rowe, 'Architecture of Geelong 1860-1900', B. Arch. Thesis, Deakin University, 1991 and Jacobs Lewis Vines, op.cit.

97 Lewis, op.cit.

98 Ibid.

99 Ibid. & *The Investigator: Magazine of the Geelong Historical Society*, vol. 23, 1988, p.11.

100 Lewis, op.cit.

101 Victorian Probate Index 1889-1899 & *The Argus*, 27 February 1895.

2.4 Chronological Overview

Year	Event/Development
1851-57	Establishment of a government camp at Ballarat & the construction of buildings on the Ballarat Mining Exchange site.
1857	Establishment of Ballarat Mining Exchange at a site between the Ballarat Mechanics Institute and the Unicorn Hotel.
1862	Establishment of the "Corner" Exchange, Ballarat.
1865	Construction of the Mining Exchange Hall, Sturt Street (adjoining the Mechanics Institute & now the Mechanics Institute Library).
1885	Successful application by the Ballarat Council for the freehold of land for municipal purposes of Crown Allotment 66, Section 4A.
1885	Amalgamation of rival Exchange bodies to form the Ballarat Mining Exchange Limited.
1887	Laying of foundation stone of the Ballarat Mining Exchange by Thomas Stoddart in Lydiard Street North, to a design by Charles Douglas Figgis, architect.
1888	Ballarat Mining Exchange Limited enters into a 3-year lease for the Mining Exchange site with the Ballarat Council.
c.1915-20	Gradual demise of the Ballarat Mining Exchange operations during and after the First World War.
1921	Ballarat Mining Exchange leased to Barlow Motors (later the Exchange Service Station). The exchange hall was initially a show room for Buick and Vauxhall cars.
1964	Demolition of the original cast iron verandah on the Lydiard Street North frontage.
c.1970	Exchange building leased to Wilkins Busways as a bus depot. Two of the rear (east) arches were altered into one large arch and an opening made in the external wall to allow bus access.
1976	Restoration of exchange hall roof, upper windows and the restoration of the former Call Room and three adjacent broker's offices. These works were funded by grants from the Historic Buildings Preservation Council and the Ministry of Arts.
1976	Former Call Room leased to the Regional Galleries Association and used as an art conservation laboratory.
1983	Rotary Club of Ballarat East leased main Exchange hall for weekend markets.
1983	Restoration of the main façade of the Exchange building.
1985	Reconstruction of the front verandah.
1985	Reconstruction and restoration works to the broker's cubicles (north side). Removal of introduced paintwork on Exchange hall walls.
1987	Installation of electrical substation in broker's cubicles by the S.E.C.
c.1990s	Further restoration of broker's cubicles, elaborate iron gates at the entrance of the building, toilet upgrade, refurbishment of first floor offices & installation of gas heaters in the Exchange hall.

□ **SECTION 3**

3.0 Physical Evidence

□ SECTION 3

3.0 Physical Evidence

The following analyses should be read in conjunction with the Site Plan, Floor Plans and Photographic Keys and Building Integrity Key (Appendix 8.01). The analysis is intended as a descriptive overview, providing a broad indication of the physical characteristics, condition and integrity of specific spaces and of the Mining Exchange building as a whole. Current photographs are provided as Appendix 8.03, while more detailed schedules are provided for the setting, exterior and interior as Appendix 8.05.

3.1 The Site & Setting

The site at 12 Lydiard Street North is predominantly taken up by the Ballarat Mining Exchange building.

This building is a highly important contributor to the intact 19th century commercial and civic streetscape. Immediately abutting the Exchange building to the south is the two storey, rendered brick, Victorian Italian palazzo styled post office with hipped roof forms. It has a landmark tower which rises in five stages. This section of the post office was built in 1885 to reflect the original first section (to the south) that had been constructed in 1864.¹⁰²

To the north of the Exchange building are three, prominent and significant Victorian buildings. Immediately adjacent to the Exchange is the Old Colonist's Hall that was built around the same time as the Exchange between 1887 and 1889 in a restrained Victorian Renaissance Revival style.¹⁰³ The projecting two storey cast iron verandah and balcony was introduced in 1901 (to match the adjoining verandah of the Alexandria Tea Rooms).¹⁰⁴

Adjoining the Old Colonist's Hall is the Alexandria Tea Rooms that was built in 1875.¹⁰⁵ The two storey Victorian design features an elaborate cast iron verandah and balcony which features small cast iron panels that connect the tops of the paired columns, a detail also found on the Exchange verandah.

The third building to the north of the Exchange is the Ballarat Fine Art Gallery that was also built in 1887.¹⁰⁶ The elevated two storey building has a first floor façade divided into three bays by engaged Corinthian pilasters, with the central bay identified by an elaborate pediment. The central ground floor entrance is accentuated by the segmental pediment.

The foundation stones for the Mining Exchange, Old Colonist's Hall and Fine Art Gallery were laid in 1887 during Queen Victoria's Jubilee year.

102 Jacobs Lewis Vines, *Ballarat: A Guide to Buildings and Areas 1851-1940*, Jacobs Lewis Vines, South Yarra, 1981, p.42.

103 *Ibid.*, p.36.

104 *Ibid.*, p.37.

105 *Ibid.*

106 *Ibid.*

On the west side of Lydiard Street North, visually connected to the Ballarat Mining Exchange building, is a series of two and three storey Victorian Renaissance Revival styled former bank buildings designed by the prominent 19th century architect, Leonard Terry. The former Bank of Australasia (1864), National bank (1862), Colonial Bank (1860) and Bank of New South Wales (1862) have rendered finishes with crowning cornices and elaborate detailing and represent a most distinctive and unique streetscape of banks all by the same architect.¹⁰⁷

3.2 Built Fabric

3.2.1 The Exterior

Description

The following exterior description assesses the Ballarat Mining Exchange according to its four main components:

- Front two storey shopfront and office pavilion fronting Lydiard Street;
- Mining Exchange Hall with flanking trading booths;
- Former Call Room (north-east corner);
- Former Toilet space, office and passage (west of Former Call Room)

A. Front Two Storey Shopfront and Office Pavilion

West (Main) Elevation (Photos 3.01, 3.03-10)

The symmetrical, two storey, face brown brick, Victorian Boom Classical styled front pavilion of the Ballarat Mining Exchange is characterised by a tall rectangular form with a projecting ground floor verandah under which is an original central arched entrance (to the exchange hall) and flanking shopfronts. Above the verandah on the first floor is a three-bayed composition of elaborately articulated windows. The façade is crowned with a highly decorative parapet.

The broadly projecting reconstructed ground floor convex verandah has a central segmented arched canopy. The verandah is supported by paired cast iron columns and is further decorated by reconstructed brackets and valances. The central arched canopy also features reconstructed decorative cast iron framed by the name "Mining Exchange" and is adorned by a cast iron finial.

Under the verandah, the ground floor consists of arcaded shopfronts which flank a large, central coved entrance arch to the Mining Exchange Hall. These smoothly rusticated and rendered arches are supported by smooth rendered piers and pilasters with projecting capital mouldings. There are early timber framed shopfront windows, and six panelled timber doors with fanlights to the southern shops, while the northern coffee shop has an introduced aluminium framed and glazed door with an early fanlight. The large coved entrance arch features a highly elaborate floral relief, with two early six panelled timber doors (having round-arched fanlights above) forming its base. The ground level in

107 W. Jacobs & D. Rowe, 'Former ANZ Bank 202 Sturt Street, Ballarat: Conservation Management Plan', prepared for Ballham Pty Ltd, November 1998.

front of the shopfront façade has been raised considerably over time and the early subfloor ventilation openings have been almost completely blocked.

The first floor of the front pavilion is composed of three bays separated by projecting pilasters. It is highly ornate, with rendered dressings providing relief to the face brick wall construction. Each bay has a grouping of three early timber framed double hung windows adorned with moulded aedicules. The windows in the central bay are surmounted by an elaborate scrolled pediment above the central window and feature a band of relief panels at the window bases. The flanking bays are surmounted by semicircular pediments, with rendered balustraded bands along the window bases. The first floor also features a wide rendered band with incised panelling. This banding is interrupted by the central window pediment and the brick pilasters that feature rendered capitals with incised panels.

Crowning the pavilion is a highly elaborate parapet. It has a band of decorative modillions along its base and rendered balustrading between the pedestals with incised panels. These panels are adorned by decorative urns, with the central urns being more elaborate. The central bay is also surmounted by a small raised segmental pediment which features a title panel with the date "1888" inscribed within it.

North and South Elevations (Photos 3.11, 3.21-24)

The north and south facades are more rudimentary in design and are comprised of face brick wall construction with curved and straight parapets. They also feature two flanking early face brick chimneys with rendered moulded tops.

Roof Top (Photos 3.12-14)

The roof top of the front pavilion has three attached hipped roof forms. These roofs are clad in introduced galvanised corrugated steel.

B. Mining Exchange Hall (Photos 3.15-20, 3.29-33)

The Mining Exchange hall of the building complex is more rudimentary in detailing than the elaborate Lydiard Street façade of the front pavilion. It features an early raised (two storey high) curved and hipped galvanised corrugated steel roof form with face red brick walls and round-arched timber framed clerestorey windows between projecting brick buttresses on the north, south and east facades. This elevated roof form has subservient proportions to the ground floor extremities of the Exchange hall. There are sloping galvanised corrugated steel roofs surrounding the north, south and east elevations of the raised hall section. The ground floor facades have face brick wall construction, bluestone plinths and rudimentary parapets with rendered cappings.

The north façade has experienced some alterations with the introduction of narrow toilet windows for the ladies toilets. The east elevation also shows evidence of changes in the large introduced central bay of timber framed double hung windows, the opening supported by an introduced steel I beam.

C. Call Room (Photos 3.38-43)

The elevated face red brick call room attached to the north-east end of the Mining Exchange Hall has parapetted red brick wall construction and a broad hipped roof form crowned by an elongated lantern light with a segmentally-arched roof. These roof forms are clad in introduced galvanised corrugated steel. The rudimentary brick wall construction is enveloped on the north and east sides by the recent University of Ballarat building. This new building is lightly connected to the call room by elevated, narrow sloping glazed roof forms. Within the University building, the north-east exterior walls of the call room are exposed and have been kept largely intact.

D. Office & Toilets (Photo 3.36)

The modestly scaled, single storey, early toilet and office wing immediately west of the call room (north of the Mining Exchange Hall) has an altered and introduced skillion roof form. To the west is a face brick parapetted wall. It features an early four panelled timber door with timber framed transom window at the southern end, together with an early timber framed double hung window (this window lights the office space within). The north portion of the wing is taken up by the former Male Toilets, although the northern-most cubicle has been removed. The northern end of the west wall has also been shortened (possibly recently) but has not been appropriately restored. Several bricks are loose and there is a gap between it and the junction with the introduced south wall of the new University of Ballarat building.

Overall Exterior Condition & Integrity

Overall, the exterior of the Ballarat Mining Exchange complex is in good condition, with some specific and yet contextually minor areas of deterioration. Generally, the exterior of the complex is highly intact and reflective of the 1887-88 design and construction.

For specific details and conservation comments on the exterior of the building, refer to the Building Schedules in Appendix 8.5.

3.2.2 Interior General

Like the exterior analysis, the following general internal description has been structured according to the different sections of the Mining Exchange complex.

**A. Front Two Storey Shopfront and Office Pavilion (Spaces FG01-05)
Ground Floor (Photos 3.27-3.37)**

The layout of the front two storey pavilion is largely symmetrical, with the central entrance hall to the mining exchange being flanked by shop spaces.

The north shops have been combined into one large coffee shop space by the removal of the dividing wall. Although the space has been altered, the early hard plaster walls, timber floors and moulded timber skirtings are intact, but there is an introduced suspended plaster sheet ceiling. The room in the south-east corner has an enlarged and blocked east window. The southern shops appear to be largely intact in layout and fabric. The original hard plaster walls, timber floors, skirtings,

moulded timber window and door architraves and lined ceilings are extant. The panelled timber doors are also original, although the two upper panels in the southern door to the rear room have been glazed. Both shops feature identical fittings and finishes, although the southern-most shop (Shop 4) has a timber screen with coloured glass which divides it into two spaces.

The central entrance lobby to the Mining Exchange hall is entered through early wrought iron gates and introduced aluminium framed glazed screen doors. This space has an early lath and plaster ceiling, with hard plaster walls, moulded rendered skirtings and an asphalt floor with carpet over. Evidence of original bluestone flagging is shown in the south-east corner. The panelled timber doors with round arched timber framed transoms and the round arched window appear to be early, but have been altered. Evidence of further window and door openings (now blocked up) is apparent on the north wall. Access to the Mining Exchange hall to the east is through another set of introduced aluminium framed and glazed doors.

An early feature of this space is the elaborate timber staircase. It is largely intact and has original turned timber balusters and timber rail. The balustrading on the upper flight to the first floor (east side facing the Exchange Hall) has been introduced, replacing an original solid panelled partition.

Integrity and Condition

Generally, the layout of the ground floor of the front pavilion is intact, apart from the removal of the dividing wall between the original northern shops. Some windows and doors have been blocked up, and other fabric introduced, especially the aluminium framed and glazed doors in the Exchange entrance. Overall, the original (1887-88) design is still clearly discernible throughout the ground floor shops and central entrance lobby. Apart from some mechanical damage, these spaces appear to be in good condition.

First Floor Offices (Spaces FF01-12) (Photos 3.38-3.56)

The first floor of the front pavilion consists of a top landing and balcony that overlooks the Exchange Hall to the east. The stairs, landing and balcony are separated from the foyer and passage by an introduced timber and glazed dividing wall. From the foyer is a central passage (passage 1) that leads to flanking office spaces to the south, west and north. Another passage provides access to the southern spaces. The layout of these spaces is predominantly intact, although early walls have been removed between spaces FF1 and FF1, FF4 and FF5, and some spaces have introduced fabric, including introduced strapped plaster sheet ceilings, moulded timber skirtings, and moulded timber door architraves. To the north, the spaces have been greatly altered with the introduction of a small kitchen and toilet spaces.

There are some intact early features include the four panelled timber doors with transom windows above, round-arched fireplace in Space FF4/5, and the timber framed double hung windows to the western

spaces (Spaces FF4-9). Another feature of the interior is the skylights in the ceilings to Spaces FF2, FF4 and FF9.

Integrity and Condition

Generally, the first floor layout is largely intact, although there have been some alterations with the removal of some walls and the introduction of smaller spaces within some areas. The ceilings have been altered in the front (western) spaces, and some of the moulded timber skirtings and architraves have been introduced. Generally, the first floor interior is in good condition.

B. Mining Exchange Hall & Broker's Booths (Spaces H01, B01-31) (Photos 3.57-3.83)

The Exchange Hall is entered through the central aluminium framed and glazed doors on the west wall. The hall is a large, open, rectangular space having an asphalt floor. An introduced service channel (for gas and electricity) is centrally located within the floor. A significant feature is the curved (elliptical) exposed roof. It is supported by a system of fine wrought iron trusses.

On the north, south and east walls are arcaded booths with face red brick wall construction on bluestone footings.¹⁰⁸ There are 15 booths on the north and south sides, and six at the east end. Generally, the booths have early or replaced timber floor boards, a combination of early or reconstructed beaded edged timber lining board ceilings, replastered internal walls and introduced timber skirtings.

Above the booths, the location of the arched clerestorey windows is aligned with the lower arcading. The ground level arcades are supported by early stop chamfered brick pilasters that feature projecting brick mouldings. The arches have face brick voussoirs (punctuated by early rendered keystones) and rendered springing blocks. These keystones interrupt the cream brick stringcourse that forms the lower framing to the incised rendered signage panels. Above the clerestorey arcading is a projecting cream brick cornice.

The signage panels on the south wall collectively read: "[The Evening Post] [Its Mining Reports are Unequaled] [If You Want Anything Advise in It] [It is the Peoples Watchdog [It is Never Left and is Always Right] [A Live Paper For Live Men] [Solid Wide Awake & Newsy] Australasian Advertising Comp. Limited] [The Organ of the Moderate Party] [Solid, Wide Awake and Newsy] [Bright and Sparkling] [L? Party] [Best Advertising Medium] [National Progressive Democratic]." Another panel with surviving signage on the northern bay of the west wall reads: "P. & G. Abraham: Gold & Money Brokers, Money Advances, Mining Script, 53 Main Street Ballarat 3 Doors from Lydiard Street."

Most of the flanking booths feature early timber framed hopper sash fanlights. The booths also have a combination of early and reconstructed timber framing, although the original panelled timber and

108 Little evidence remains of the paintwork that had been introduced over the brickwork in the 20th century and the walls now present their original appearance.

glazed partitions and doors have been removed. This timber and glazed infill has been reconstructed for the ladies' and men's toilets on the north wall, and on the western end of the south wall.

At the eastern end, the large archway has been infilled with introduced sheeting and glazing. This archway originally encompassed two individual round arched booth openings. There is also a narrow passage near the south end that provides external access to the east. Another narrow passage is situated on the north wall (east end) that provides access to the call room. This passage has a dog-legged layout.

On the western end, there is a three-bayed composition. The central ground floor archway appears to have been reconstructed. Above is the curved cantilevering balcony with an elaborate cast iron balustrade. This balustrade has been reconstructed. The ground floor wall of the northern bay has been altered. An early round arched timber framed double hung window appears to have been blocked over by introduced timber shelving.

Integrity and Condition

The interior of the Mining Exchange Hall is largely intact and is of **moderate-high** integrity. The form and detailing of the hall space generally reflects its original (1887-88) design. There have been some changes with the removal of the timber panelled and glazed infill to the booth arcades, together with alterations to the arched openings on the east and west walls, floor resurfacing and introduction of services, but overall, these works are considered to be of a minor nature.

The condition of the Mining Exchange hall is good. There is some evidence of previous falling damp that now appears to have been stabilized after the introduction of the galvanised corrugated steel roof. Other specific conservation issues are detailed in the Building Schedule in Appendix 8.05.

A. Call Room (Space CR01) (Photos 3.84-3.90)

The large, attached call room space is entered through a double doorway near the north-east corner of the Exchange Hall. It features an early coved beaded edged timber lining board ceiling with decorative turned timber Queen Post trusses. The ceiling also features an early, elongated lantern light, with frosted glazing on the south side, but introduced corrugated acrylic sheeting over all other sides. The Baltic pine timber floor boards have been introduced (replacing original timber boards) and the early high, moulded timber skirtings appear to have been reconstructed. Other early features include the hard plaster walls and the three panelled double timber entrance doors on the south wall. These doors have introduced glazed middle panels that have been painted over. The other single six panelled and four panelled timber doors on the west and south walls respectively appear to be early. The white marble fireplace may be early. The timber picture rails that partially span the walls have been introduced. The heat banks and thermostats (with chased in wiring in the walls) are introduced elements.

Integrity and Condition

The highly significant design qualities of the call space, notably the coved timber lined ceiling with Queen Post trusses, form of the elongated lantern light, moulded timber skirtings, panelled timber doors and the hard plaster walls are largely intact or reflect the original design. There have been changes to the floor, lantern light and the double doors, and the timber skirtings have been reconstructed, but generally the call room is of **moderate-high** integrity.

There is evidence of what appears to be previous falling damp on the east wall. This has left some staining and damage to the timber lined ceiling and the hard plastered wall. Generally however, the call room is in good condition.

D. Office & Toilets (Spaces T01-03) (Photos 3.91-3.99)

The office and toilet space to the north of the Mining Exchange Hall are accessed by a narrow dog-legged passage. This passage has an early beaded edged and stained timber lining board ceiling, with painted brick walls and some introduced plaster skirtings. There is a six panelled door (with transom window above) on the west wall (adjacent the northern extremity of the exchange hall) that leads to the exterior. The office space (Space T1) is largely intact, with an early beaded edged timber lining board ceiling, hard plaster walls with moulded timber skirtings, and a four panelled timber door with moulded timber architraves. The early timber framed double hung window has been sheeted over and the floor is concrete with carpet over.

The rear male toilets have been subject to substantial weathering, overgrowth of creeper, debris build up in gutters, and some changes at the northern end. The early brick cubicles were once a set of three and have been reduced to two at a later date, with the demolition of the northern cubicle and northern brick wall. The end of the west wall has been left unfinished, with exposed brick toothing and loose bricks. The level of the northern part of the floor has been raised by a recently introduced concrete slab. The space that once formed the northern cubicle has been blocked up with a temporary timber framed and galvanised steel sheet partition. This partition is not recent, and appears to have been in place for some years.

Integrity and Condition

The brick cubicles and urinal space reflect the earliest portion of the toilet space. These were once roofed, with the adjoining eastern space being open. The open space appears to have been roofed with corrugated acrylic sheeting in the c.1950s. The northern-most cubicle was later closed off by the temporary galvanised corrugated steel partition and then the cubicle (or at least part of the northern portion of the west wall) has been removed and an area of concrete slab recently introduced. This concrete slab has been causing the build up of dampness, with ponding water. Overall, the integrity of the toilets is **low**, given the extent of changes. This space is also in poor condition.

3.3 Conclusions

Overall, the Ballarat Mining Exchange is reflective of its original (1887-88) design. The particular physical features that contribute to the integrity of the place are listed as follows:

The Setting

- The exterior form and detailing of the Mining Exchange contributes to the highly intact 19th century streetscape of Lydiard Street North (south end). The streetscape is defined by the two storey commercial and public buildings that adjoin the Exchange. These buildings are the Post Office (to the south) and the Old Colonist's Hall, Alexandria Tea Rooms and Ballarat Fine Art Gallery to the north. Also visually connected to the Exchange building on the west side of Lydiard Street North are four Victorian Renaissance Revival styled bank buildings that represent a most distinctive and unique streetscape of banks all by the same architect, Leonard Terry;

Mining Exchange Building

- Exterior. Predominantly intact and unusual Victorian Boom Classical styled exterior represented by:
 - Tall rectangular front (Lydiard Street) pavilion composed of three bays separated by projecting pilasters with rendered dressings and face brown brick wall construction, three timber framed double hung windows adorned with moulded aedicules, elaborate scrolled pediment above the central windows and relief panels at the window bases, wide rendered incised panelling and a crowning highly elaborate parapet having decorative modillions, urns and small raised segmental pediment. The front pavilion is roofed by three galvanised corrugated steel hips;
 - Broadly projecting reconstructed convex ground floor verandah to the front pavilion with a central segmented arched canopy, paired cast iron columns and cast iron brackets and valances. The central arched canopy features reconstructed decorative cast iron;
 - Ground floor arcaded shopfronts to the front pavilion flanking a large central coved entrance arch (with elaborate floral relief) to the Exchange Hall, smoothly rusticated and rendered shopfront arches supported by smooth rendered piers and pilasters with projecting capital mouldings, timber framed shopfront windows and reconstructed six panelled timber doors;
 - Raised (two storey high) curved (elliptical) and hipped galvanised corrugated steel Exchange hall roof at the rear of the front pavilion with face red brick walls and round-arched timber framed clerestorey windows between projecting brick buttresses, sloping galvanised corrugated steel roofs on the north, south and east elevations, and bluestone plinths and rudimentary parapets with rendered cappings;

- Elevated call room wing to the north-east with parapetted red brick wall construction and a broad hipped roof form crowned by an elongated lantern light;
- Modestly scaled single storey toilet and office wing and early face brick parapetted wall construction to the west having a six panelled timber door with transom window. The north end is open and partially enclosed by a galvanised corrugated steel partition, the length of the toilet space shortened with a gap created between it and the recent south wall of the University of Ballarat building;
- Interior. Rare and predominantly intact interiors largely reflective of the original (1887-1888) design of four distinct areas within the building complex. The significant spaces are as follows:
 - Front two storey shopfront and office pavilion. The northern ground floor shops have been combined into one large coffee shop and have been altered. The southern shops appear to be largely intact in layout and include original hard plaster walls, timber floors, timber skirtings, moulded timber window and door architraves and timber lined ceilings. The six panelled timber doors have been reconstructed. The southern-most shop (Shop 4) has an early timber screen with colour glass. The layout of the first floor offices is predominantly intact although early walls have been removed between some spaces and new fabric has been introduced including strapped plaster sheet ceilings, moulded timber skirtings and moulded timber door architraves. The northern spaces representing the small kitchen and toilets have been greatly altered;
 - Mining Exchange Hall and flanking Broker's Booths. Large intact rectangular space with an asphalt floor, curved (elliptical) exposed roof supported by fine wrought iron trusses, arcaded face brick walls on bluestone footings, stop chamfered brick pilasters with brick mouldings, brick stringcoursing, incised rendered signage panels and projecting cream brick cornices. The flanking booths have early timber framed hopper sash fanlights and a combination of early and reconstructed timber framing, replastered walls and reconstructed timber floors and timber lined ceilings with galvanised hoods (predominantly the southern booths). There are some reconstructed timber and glazed partitions in the booth arches for the ladies' and men's toilets, north-east arcades and in the south-west corner. A large arched opening has been introduced on the south-east end;

- Call Room. Large space featuring an early coved beaded edged timber lining board ceiling with decorative turned timber Queen Post trusses and an elongated lantern light with frosted glazing and introduced corrugated acrylic sheeting. The Baltic pine timber floor, hard plaster walls and high moulded timber skirtings have been reconstructed and restored. Other early features include the white marble fireplace, moulded timber door architraves, three panelled double timber entrance doors on the south wall (altered) and the four panelled timber doors on the south and west walls;
- Office and Toilets. Original passage with early beaded edged and stained timber lining board ceiling, painted brick walls, some introduced plaster skirtings and early six panelled and four panelled timber doors. Largely intact office space (Space T1) with timber lined ceiling, hard plaster walls, moulded timber skirtings and timber framed double hung window. Altered and substantially weathered male toilet space with early brick cubicles (one cubicle has been demolished), demolished north brick wall with exposed brick toothing and loose bricks at the sides, exposed introduced corrugated acrylic roof sheeting on timber roof structure (to east part of roof) and concrete floor;

□ **SECTION 4**

4.0 Cultural Significance

□ SECTION 4

4.0 Cultural Significance

4.1 Introduction

The following comparative analysis establishes an historical, architectural, scientific and social context for the architectural design of the Ballarat Mining Exchange. Moreover, it compares the building with:

- Other 19th Century Mining Exchange Buildings in Australia;
- Other 19th Century Victorian Free Styled Buildings in Ballarat;

All comparative analysis figures are provided as Appendix 8.04.

4.1.1 Contextual Background: The Mining Exchange

Many mining and stock exchange buildings were established and several purpose-built buildings constructed throughout Australia during the gold rushes in the mid and late nineteenth century. No substantial comparative research has been uncovered on the history and development of Mining Exchange buildings throughout Australia, but there appears to be only a few of them remaining today.

These buildings are a legacy of the frenzied stock broking activities that transpired - both within them and on the streets, where crowds flocked to speculate on stocks and shares in an effort to make a quick fortune. Frank Cusack in *Bendigo: A History* provides an insight into the activities experienced in Bendigo in the 1860s, a situation also keenly experienced in Ballarat at that time:

The share market presented an appearance never to be forgotten by those who once witnessed it in those days of feverish excitement. Thousands of people blocked the path and roadway opposite the exchange, and traffic was carried on only under great difficulties in the main thoroughfare. The speculation in stocks and shares was extraordinary, fortunes being made and lost in a few hours. From early morn till late at night people dealt in shares and went to bed to dream about them.¹⁰⁹

Figure 2.03 provides visual evidence of the speculative activities that occurred in the Ballarat Mining Exchange from 1889.

4.2 Other 19th Century Mining Exchange Buildings in Australia

The following compares the Ballarat Mining Exchange with other known purpose-built 19th century mining exchange buildings throughout Australia.

4.2.1 Former "Corner" Mining Exchange Hall (current Ballarat Mechanics Institute Library), Sturt Street, Ballarat (Figure 4.01)

The former "Corner" Mining Exchange hall, Sturt Street, Ballarat, is one of the earliest rural extant mining exchange buildings in Australia. Now connected to the Ballarat Mechanics Institute and serving as the Institute Library, the Old Mining Exchange Hall had been built by

109 F. Cusack, *Bendigo: A History*, Heinemann, Melbourne, 1973, p.149.

September 1865. As discussed in Section 2, the opening of the Exchange Hall was a defining moment in the history of stockbroking in Ballarat and more broadly, Victoria. This building was the hub of Ballarat's share trading until the opening of the Ballarat Mining Exchange in Lydiard Street in 1889.

Although obviously earlier than the Lydiard Street Exchange, the Old Exchange Hall does not directly relate to its original function today. The two storey Old Mining Exchange building is comprised of parapetted gables (having cement rendered cappings) on the north and south ends. Constructed in face brick, a series of four corbelled brick chimneys are situated above the east parapet, while two double, corbelled face brick chimneys are located on the west parapet. A semi-circular rose window (with all except one glazing panel painted) is a feature of the north elevation. The east elevation is identified by a large, face brick and white washed wall plane, while the south façade is enveloped by Her Majesty's Theatre. The original adjoining wall of the rear of the Unicorn Hotel has been recently demolished. This rear section once housed some of the broker's offices prior to the construction of the Exchange building in Lydiard Street.

Of particular significance to the Old Mining Exchange is its unusual roof form. Behind the parapetted gable is a longitudinal, timber and galvanised corrugated iron lantern gable, with clerestorey lights on the east and west sides and a glazed roof. Minor and shallow gables flank the lantern light, which are situated on a lower level to the lantern gable.

Internally, the Old Mining Exchange hall is of moderate-high integrity. Although there have been several alterations with the introduced of new fabric in c.1935-36, the original gabled, glazed roof lantern-monitor light with original Victorian Classical decoration represents a significant feature of the space. The original hard plaster walls and four original chimneys (with altered fireplaces) are also extant. Several timber bookshelves associated with the Institute Library are situated in the large, elevated interior.

The Exchange building in Lydiard Street is considerably larger in scale, more intact and more representative of its original function than the Old Exchange Hall.

4.2.2 Beehive Building, including the former Bendigo Mining Exchange, Bendigo, Victoria (Figure 4.02)

The original Beehive Store dates from the early tent days of the gold rush.¹¹⁰ It was soon followed by a single storey building reaching from Pall Mall to Hargreaves Street.¹¹¹ In 1864 a two storey building (of similar design to the extant building) was constructed, and on the first floor were offices of share brokers.¹¹² In 1871, at a time of hectic share trading the Beehive building suffered extensive fire damage.¹¹³

110 M. Butcher & G. Flanders, *Bendigo Historic Buildings*, National Trust of Australia (Victoria), Central Victorian Branch, Bendigo, 1987, p.29.

111 *Ibid.*

112 *Ibid.*

113 *Ibid.*

Soon after, the present three storey building was constructed in a Victorian Classical style to a design by the eminent Victorian architect, Charles Webb.¹¹⁴ The building is characterised by a slightly projecting bay, crowned with an expansive pediment, with window bays forming the wings. Projecting stringcourses and cornices define the varying floor levels, which are identified by arched windows on the upper floors and shopfronts (with verandah) on the ground floor. The brokers' offices were situated on the first floor of the building, opening onto continuous balconies surrounding a light well that included the Allan's walk arcade.¹¹⁵ The opulence of the interior is apparently comparable with Charles Webb's treatment of the Royal Arcade, Melbourne.¹¹⁶

The decline in mining witnessed the curtailment of speculative activity at the exchange by the 1920s. By the 1950s, the Beehive building had been extensively renovated as a department store, but the Allan's Walk arcade was retained.¹¹⁷ Although twentieth century partitioning in Allan's Walk has obscured the original Victorian detailing, some brokers' offices on the first floor survive.¹¹⁸

While some elements of the original Bendigo Exchange function survive, the Ballarat Exchange in Lydiard Street is considerably more intact and representative of its original purpose.

4.2.3 Stock Exchange Arcade, Charters Towers, Queensland

The Stock Exchange Arcade, Mossman Street, Charters Towers, was originally built in 1888 to a design by Mark Cooper Day, as a series of elaborate shops.¹¹⁹ By 1890, it was the trading venue during the town's boom period.¹²⁰ The Victorian Free Classical design has an affinity with the Ballarat Exchange building in Lydiard Street, in that it has a front pavilion of ground floor shopfronts separated by a barrel vaulted central section and an expansive upper floor verandah. Behind the pavilion is a central court having a glazed vault over a system of arched steel trusses.¹²¹ Flanking the court are arcades of small offices.¹²²

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- 114 Victorian Heritage Register, 'Beehive Building Complex, 18 Pall Mall, Bendigo', VHR number, H686.
 115 Victorian Heritage Register, *Ibid.*
 116 D. Hill (National Trust) to R. Tonkin (Historic Buildings Council), 3 February, 1988, in Heritage Victoria file number 600401.
 117 Heritage Victoria file number 600401.
 118 Victorian Heritage Register, *op.cit.*, & Butcher & Flanders, *op.cit.*
 119 Watson & McKay, *Queensland Architects of the 19th Century*, Queensland Museum, Brisbane, 1994, p.53, & Register of the National Estate, 'Stock Exchange Arcade, Charters Towers, Queensland', database number 008934, file number 4/05/242/0010.
 120 *Ibid.*
 121 *Ibid.*
 122 *Ibid.*

4.2.4 Chamber of Mines, School of Mines & School of Mines Museum Group, Kalgoorlie, Western Australia

Formerly the laboratory and offices of the London and Hamburg Company, the single storey and brick and stone vernacular building was constructed in the latter 19th century.¹²³ In 1895, it was converted into the first Chamber of Mines, later becoming the Western Australia Chamber of Mines.¹²⁴ This building and the group in which it belongs, reflects the growth of the mining industry in Kalgoorlie.

4.3 Other 19th Century Victorian Free Classical Styled Buildings in Ballarat

The Victorian Heritage Register lists 187 Victorian Free Classical styled heritage places of State significance. Of this total, six buildings are located in Ballarat, namely:

- Ballarat Mechanics Institute, 115-119 Sturt Street, Ballarat;
- Reids Coffee Palace, 128 Lydiard Street, Ballarat;
- Her Majesty's Theatre, 17 Lydiard Street, Ballarat;
- Yarrowee Hall, 1 Darling Street, Ballarat;
- Former Mining Exchange (subject building);
- Ballarat Railway Complex, 140 Lydiard Street, Ballarat;

Details of some of the most comparable of these buildings with the Ballarat Mining Exchange are given as below. This building is also compared with the former Protestant Hall in Grenville Street, Ballarat, which has also been determined by the authors as being of State significance.

4.3.1 Ballarat Mechanics Institute, 115-119 Sturt Street (Figure 4.03)¹²⁵

The Ballarat Mechanics Institute represents an outstanding example of Australia's cultural heritage. The elaborate Victorian Free Classical style Sturt Street façade is unique and distinctive for its notable craftsmanship in rendered brick, particularly the sculptural relief panels, central alcove, and imposing pediment sculpture of Minerva, Roman Goddess of crafts and trade and of the intellectual activity necessary to their successful practice. Construction commenced in 1860 of the southern (rear) section including the theatre hall and reading room to a design by Charles Boykett. The theatre hall is substantially intact. The four storey building and basement addition which comprises the Sturt Street frontage was constructed in 1869-70 to the design of John Holme Jones. This section contains the former opulent library and billiard room which are also predominantly intact. The large scale of the reading room (refurbished in 1909) is also impressive. Today, the building remains as a legacy of the success and longevity of the Ballarat Mechanics Institute, whose current functions include the management of its vast and nationally significant 18th, 19th and 20th century library collection. Together with the equally significant Old Mining Exchange building that

123 Register of the National Estate, 'Chamber of Mines, School of Mines & School of Mines Museum Group, Kalgoorlie, Western Australia', database number 009837, file number 5/04/164/0012.

124 Ibid.

125 Jacobs & Rowe, 'Ballarat Mechanics Institute', op.cit.

now forms part of the Ballarat Mechanics Institute complex, the Institute, its building and site are unique and tangible symbols of the wealth and prosperity of Ballarat during the gold era.

Both the Ballarat Mechanics Institute and Lydiard Street Mining Exchange buildings are predominantly intact and make a substantial contribution to the built heritage in central Ballarat. While the scale and detailing of the Institute building may be larger and more elaborate, both buildings are of high design quality and continue to represent their original function. The large coved entrance arch on the ground floor of the Mining Exchange has an affinity with elaborate entrance to the Institute building.

4.3.2 Her Majesty's Theatre, 17 Lydiard Street (Figure 4.04)¹²⁶

This building, which was known in 1874 as the Academy of Music, in 1898 as Her Majesty's Theatre, and, from 1966 to 1988 as the South Street Memorial Theatre, has both historical and architectural significance. It is a rare survivor of a number of Ballarat and Bendigo theatres which, in the 19th century, rivaled those in Australia's capital cities. The Ballarat theatre is arguably the oldest operating theatre in Australia. The original building was designed by George Browne in 1874, and the exterior façade survives partially intact from that time. The impressive interior, with its double horse-shoe shaped balconies supported on columns, was designed by the notable architect William Pitt in 1898, and represents the last example of this type of theatre design in Victoria.

Her Majesty's Theatre and Ballarat Mining Exchange are situated in Lydiard Street, either side of Sturt Street. Both have a distinctive presence in the streetscape, with finely detailed Free Classical facades crowned with elaborate parapets. The Exchange façade to Lydiard Street is possibly more intact, but both buildings continue to physically reflect their original 19th century functions.

4.3.3 Former Protestant Hall, Grenville Street (Figure 4.05)¹²⁷

The former Protestant Lodge represents one of the earliest known surviving 19th century Forester/Oddfellows Hall buildings in Victoria. Designed by the Ballarat architect, Edward James in c.1871 for the Independent Order of Foresters, the building was occupied by the Independent Order of Oddfellows Lodge Nos. 11 and 20, and by the Loyal Orange Lodge after 1929. In c.1912, a rear hall and service spaces were added. Today, the exterior is largely intact and reflective of the original c.1871 design and later c.1912 additions. The intact exterior fabric includes: single storey height, Victorian Free Classical styled details, three bayed composition, rendered brick finish, smoothly rusticated ground floor walls with square Tuscan pilasters, central arched entrance emphasized by the segmental pediment above, timber framed double hung windows with small timber framed transom-like windows at the mezzanine level, rough-faced bluestone plinth, plain

126 'Her Majesty's Theatre, 17 Lydiard Street South, Ballarat', Victorian Heritage Register Online, H648, 14 February 2002.

127 Jacobs & Rowe, 'Former Ballarat Water Board & Protestant Hall Buildings', op.cit.

entablature with a dentillated cornice, solid panelled parapet with a projecting cornice supported by modillions, decorative parapet scrolls, shallow-arched timber framed double hung windows decorated with patterned and etched ruby red and blue glazed borders, decorative chimneys and galvanised corrugated steel gable roof form.

Internally, the spatial layout and fabric is also predominantly intact or reflective of the early additions. The intact original and early interior fabric includes: moulded timber window and door architraves, beaded edged lining board dados, three panelled double timber entrance doors with fanlights above, hard plaster walls, arched fireplaces, attic storerooms, large hall with lath and plaster ceiling, rear hall with stained v-jointed timber lining board ceiling and timber King post trusses adorned with corbel masks, timber lined lantern light in the rear hall with windows having etched red and blue glazed borders, and the four panelled timber doors.

The layout of the former Protestant Hall has an affinity with the Ballarat Mining Exchange. Both buildings have a front office pavilion with elaborate street façade, with a rear hall and secondary hall behind.

4.4 Assessment of Significance

An assessment of the historical overview and physical and comparative analyses sections in this report reveal the significance of the Ballarat Mining Exchange, Lydiard Street, Ballarat. This building is significant for the following reasons:

- The most intact 19th century Mining Exchange buildings still representative of its original function in Victoria;
- One of few surviving 19th century Mining Exchange buildings in Australia;
- An important work of the architect, Charles Douglas Figgis;
- A highly important contributor to a rare intact 19th streetscape of two storey commercial and public buildings in this part of Lydiard Street North;
- One of the most intact Victorian Free/Boom Classical styled street facades in Victoria with unusual and highly distinctive detailing that outwardly expresses the prosperity of the gold mining era;
- An important contributor to the collection of Victorian Free Classical styled buildings in Ballarat;
- For its predominantly intact original (1887) two storey Victorian Boom Classical styled exterior. The building is defined by its four main components and the intact fabric includes (but may not be limited to):
 - Front symmetrical, two storey pavilion: three-bayed composition having projecting pilasters with rendered dressings and face

brown brick wall construction, three timber framed double hung windows adorned with moulded aedicules, elaborate scrolled pediment above the central windows and relief panels at the window bases, wide rendered incised panelling, crowning highly elaborate parapet with decorative modillions, urns and small raised segmental pediment, three attached galvanised corrugated steel hip roof forms behind the front parapet; broadly projecting reconstructed convex ground floor verandah to the front pavilion with central segmented arched canopy, paired cast iron columns and cast iron brackets and valances, reconstructed decorative cast iron in arched canopy; and ground floor arcaded shopfronts flanking a large central coved entrance arch (with elaborate floral relief) to the Exchange Hall, smoothly rusticated and rendered shopfront arches supported by smooth rendered piers and pilasters with projecting capital mouldings, timber framed shopfront windows and reconstructed six panelled timber doors;

- Mining Exchange Hall: Raised (two storey high) curved (elliptical) and hipped galvanised corrugated steel hall roof at the rear of the front pavilion with face red brick walls and round-arched timber framed clerestorey windows between projecting brick buttresses, sloping galvanised corrugated steel roofs on the north, south and east elevations, and bluestone plinths and rudimentary parapets with rendered cappings;
- Call Room: elevated call room to the north-east with parapetted red brick wall construction and a broad hipped roof form crowned by an elongated lantern light;
- Office & Toilets: modestly scaled single storey toilet and office wing with face brick parapetted wall construction, six panelled timber door with transom window and the timber framed double hung window;
- For its predominantly intact spatial layout reflective of original (1887) exchange functions of the building, with front ground floor shops and first floor offices, rear exchange hall flanked by arcades of broker's booths, rear/side call room and side office and toilets;
- For its predominantly intact interiors reflective of the original (1887) design. The intact interiors include (but may not be limited to):
 - Front Pavilion: layout and hard plaster walls, timber floors, timber skirtings, moulded timber window and door architraves, timber lined ceilings and six panelled timber doors to the southern shops; and the internal walls, four panelled timber doors, moulded timber architraves and some moulded timber skirtings to the first floor offices;

- Mining Exchange Hall and flanking Broker's Booths: asphalt floor, curved (elliptical) exposed roof supported by fine wrought iron trusses, arcaded face brick walls on bluestone footings, stop chamfered brick pilasters with brick mouldings, brick stringcoursing, incised rendered signage panels and projecting cream brick cornices in the exchange hall; timber framed hopper sash fanlights and some timber framing and plastered walls and other details in the broker's booths;
- Call Room: early coved beaded edged timber lining board ceiling, decorative turned timber Queen Post trusses, and elongated lantern light with frosted glazing. Introduced or repaired fabric includes the Baltic pine timber floor, hard plaster walls and high moulded timber skirtings and white marble fireplace. Other early features include the moulded timber door architraves, three panelled double timber entrance doors on the south wall (altered) and the four panelled timber doors on the south and west walls;
- Office and Toilets: original passage with beaded edged and stained timber lining board ceiling, painted brick walls, and six panelled and four panelled timber doors. Office (Space T1) with timber lined ceiling, hard plaster walls, moulded timber skirtings and timber framed double hung window;
- As an outstanding historical and social legacy of the wealth and prosperity which resulted from the gold mining activities in Ballarat from 1889 until the early 20th century, and particularly for its associations with the financial and business affairs of gold mining activities in Ballarat during that period;

4.5 Statement of Cultural Significance

The following Statement of Cultural Significance has been developed according to the Criteria for Assessment of Cultural Heritage Significance adopted by the Heritage Council of Victoria (see Appendix 8.07).

What is Significant?

The Ballarat Mining Exchange, 12 Lydiard Street North, Ballarat, has significance as one of the very few surviving purpose-built Mining Exchange buildings in Australia. Constructed in 1887-88 to a design by the Ballarat architect, Charles Douglas Figgis, the Victorian Boom Classical styled building makes a substantial contribution to the rare intact 19th century streetscape of Lydiard Street. Externally, the face brick construction with decorative rendered detailing, rear face brick wall construction and galvanised corrugated steel roof cladding and the reconstructed front projecting cast iron verandah establishes a prominent presence in this part of Ballarat. The main façade represents an intact example of the Victorian Boom Classical style which outwardly expresses the prosperity of the gold mining era. Internally, the front symmetrical two storey pavilion, main exchange hall, rear call room and the side office and toilet space provide a tangible physical understanding of the original 19th century Exchange functions of the building. It represents an outstanding architectural, historical and social legacy of the wealth and prosperity that resulted from the Ballarat gold rush in the 1850s and particularly for its associations with the financial and business affairs of gold mining in Ballarat from 1889 until the early 20th century.

How is it Significant?

The Ballarat Mining Exchange is of architectural, historical and social significance to the State of Victoria.

Why is it Significant?

The Ballarat Mining Exchange is architecturally significant at a STATE level as the most intact 19th century Mining Exchange building still representative of its original function in Victoria. The front Lydiard Street pavilion with its two storey, symmetrical, three-bayed composition (established by the projecting pilasters with rendered dressings on the first floor and the arcaded shops separated by a large central coved entrance arch on the ground floor), elegant reconstructed cast iron verandah, rear hipped and curved exchange hall roof (with arcaded clerestorey windows, brick buttresses and parapetted red brick walls), brick call room (with parapetted red brick walls and lantern light), and the modestly scaled brick office and toilet wing at the side, are those external elements that contribute to the architectural significance of the place. Internally, the southern ground floor shops (with timber lined ceilings, hard plaster walls, timber floors and other timber details), upper floor offices, large rear exchange hall (having a large curved exposed roof with wrought iron truss system and decorative face red brick wall construction), flanking brick arcades of broker's booths on the ground floor and clerestorey windows above, rear call room (with elaborate Queen Post trusses above which is a coved timber lined ceiling and elongated lantern light) and the side office and toilets reflect the original

19th century Exchange purpose of the building. Overall, the layout and form of the building is rare and its detailing is unusual and highly distinctive.

The Ballarat Mining Exchange is historically significant at a NATIONAL level as one of the few surviving 19th century Exchange buildings in Australia and for its associations with the financial and business affairs of gold mining activities in Ballarat from 1889 until the early 20th century. The building acts as a tangible link with the gold discoveries in Ballarat in the 1850s and the subsequent deep gold mining that led to the establishment of the Ballarat Stock Exchange in 1865 and the Ballarat Mining Exchange Company Limited in 1885. The building has further associations with the local architect, Charles Douglas Figgis and it represents one of his most distinguished designs. The Exchange site forms part of the original government camp established in 1851-52. The site accommodated colonial government administrators and troopers to keep order on the gold fields. Antagonism between the government troopers and gold diggers resulted in the battle at the Eureka Stockade in late 1854. Further associations can potentially be made with the former Telegraph Office, stores, gaol and gaolkeeper's lodge that were built in the mid 1850s in the vicinity of the Exchange building.

The Ballarat Mining Exchange is socially significant at a STATE level. It is recognized and valued by the Ballarat and Victorian community as a symbol of the prosperity of the goldrush and associated mining activities in Ballarat from the 1850s. The site is also valued for its associations with colonial government activities from the 1850s.

4.6 Significance of Components

The Ballarat Mining Exchange, 6-14 Lydiard Street North, Ballarat, meets the following Criteria for Assessment of Cultural Heritage Significance as adopted by the Heritage Council of Victoria. The criteria are provided as Appendix 8.07.

4.6.1 CRITERION B: The importance of a place or object in demonstrating rarity or uniqueness.

CRITERION D: The importance of a place or object in exhibiting the principal characteristics or the representative nature of a place or object as part of a class or type of places or objects.

CRITERION E: The importance of the place or object in exhibiting good design or aesthetic characteristics and/or in exhibiting a richness, diversity or unusual integration of features.

Rationale for Criteria B, D & E

It has been established that the Ballarat Mining Exchange in Lydiard Street represents the most intact 19th century Mining Exchange building in Victoria and is one of few known surviving 19th Century Exchange buildings in Australia. It has also been established that the Ballarat Exchange building is one of the most intact Victorian Boom Classical styled buildings in Ballarat and forms part of small grouping of similarly styled buildings included on the Victorian Heritage Register. It has a rare layout and form and unusual and highly distinctive detailing.

4.6.2 CRITERION A: The historical importance, association with or relationship to Victoria's history of the place or object.

Rationale

The spatial layout, form and design of the Ballarat Mining Exchange building continues to reflect its original purpose, as identified in the Statement of Significance. The importance of this building to the history of gold mining and the Ballarat Stock Exchange is clear, as are its associations with mining activities in Ballarat. It has historical significance to the Victorian community given the wide influences of the gold fields in the 19th century. The site has significance for its associations with the government camp established in the early 1850s and therefore with the subsequent battle at the Eureka Stockade in 1854.

4.6.3 CRITERION C: The place or object's potential to educate, illustrate or provide further scientific investigation in relation to Victorian cultural heritage.

Rationale

Given that the Ballarat Mining Exchange site is situated on a part of the former government camp established in the 1850s to administer law and order on the Ballarat goldfields, it is probable that there are substantial archaeological deposits preserved between the footings and service trenches and in the open spaces of the exchange hall and call room.

These details are given by Allom Lovell & Associates Pty Ltd with Andrew Long & Associates in the 'Camp Street Precinct Ballarat, Conservation Management Plan' (1999).

4.6.4 CRITERION G: The importance of the place or object in demonstrating social or cultural associations.

Rationale

The Ballarat Mining Exchange is an outstanding physical legacy of the Ballarat Stock Exchange of the late 19th and early 20th centuries. It is recognized and valued by the Ballarat and Victorian communities primarily for these reasons. To a lesser extent, the associations of the Exchange site with the colonial government camp of the early 1850s have also been recognized and the site contributes to a degree to the valuable historical and cultural record of Australia's early political history.

SECTION 5

5.0 Conservation Policy

PART TWO: THE MANAGEMENT PLAN

SECTION 5

5.0 Conservation Policy

5.1 Introduction

The following Conservation Policy has been developed in accordance with the Australia ICOMOS Burra Charter. It accounts for the future needs and requirements of the City of Ballarat, owner of the Ballarat Mining Exchange building, and the requirements of Heritage Victoria.

The following provides specific policies (and rationale) for the significant exterior and interior of the Ballarat Mining Exchange. They are supported by detailed Recommendations and Works and Maintenance Items that form Section 6 of this Report.

5.2 General Policy

The retention and enhancement of the Ballarat Mining Exchange, 12 Lydiard Street North, Ballarat, should be the uppermost priority and the context and setting of the place enhanced wherever possible. Generally, the exterior of the building is in good condition. The interior of the building is in good condition, with only a few spaces showing signs of deterioration.

It is policy that the conservation, maintenance and future management of the Ballarat Mining Exchange be carried out in accordance with the Australia ICOMOS Burra Charter (see Appendix 8.07). The definitions of the Burra Charter are as follows:

Conservation means all the processes of looking after a place so as to retain its cultural significance. It includes maintenance and may, according to circumstances, include preservation, restoration, reconstruction and adaptation and will be commonly a combination of more than one of these.

Maintenance means the continuous protective care of the fabric, contents and setting of a place, and is to be distinguished from repair. Repair involves restoration or reconstruction and should be treated accordingly.

Preservation means maintaining the fabric of a place in its existing state and retarding deterioration.

Restoration means returning the existing fabric of a place to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

Reconstruction means returning a place as a nearly as possible to a known earlier state and is distinguished by the introduction of materials (old or new) into the fabric. This is not to be confused with either recreation or conjectural reconstruction, which are outside the scope of this Charter.

Adaptation means modifying a place to suit proposed compatible uses.

Rationale

The Statement of Cultural Significance and Building Integrity Keys clearly indicate that the Ballarat Mining Exchange building is predominantly intact. To reiterate, the Ballarat Mining Exchange is significant in the following ways:

- As the most intact 19th century Mining Exchange buildings still representative of its original function in Victoria;
- As one of few surviving 19th century Mining Exchange buildings in Australia;
- As an important work of the architect, Charles Douglas Figgis;
- As a highly important contributor to a rare intact 19th streetscape of two storey commercial and public buildings in this part of Lydiard Street North;
- As one of the most intact Victorian Free/Boom Classical styled street facades in Victoria with its unusual and highly distinctive detailing that outwardly expresses the prosperity of the gold mining era;
- As an important contributor to the collection of Victorian Free Classical styled buildings in Ballarat;
- For its predominantly intact original (1887) two storey Victorian Boom Classical styled exterior. The building is defined by its four main components and the intact fabric includes (but may not be limited to):
 - Front symmetrical, two storey pavilion: three-bayed composition having projecting pilasters with rendered dressings and face brown brick wall construction, three timber framed double hung windows adorned with moulded aedicules, elaborate scrolled pediment above the central windows and relief panels at the window bases, wide rendered incised panelling, crowning highly elaborate parapet with decorative modillions, urns and small raised segmental pediment, three attached galvanised corrugated steel hip roof forms behind the front parapet; broadly projecting reconstructed convex ground floor verandah to the front pavilion with central segmented arched canopy, paired cast iron columns and cast iron brackets and valances, reconstructed decorative cast iron in arched canopy; and ground floor arcaded shopfronts flanking a large central coved entrance arch (with elaborate floral relief) to the Exchange Hall, smoothly rusticated and rendered shopfront arches supported by smooth rendered piers and pilasters with projecting capital mouldings, timber framed shopfront windows and reconstructed six panelled timber doors;

- Mining Exchange Hall: Raised (two storey high) curved (elliptical) and hipped galvanised corrugated steel hall roof at the rear of the front pavilion with face red brick walls and round-arched timber framed clerestorey windows between projecting brick buttresses, sloping galvanised corrugated steel roofs on the north, south and east elevations, and bluestone plinths and rudimentary parapets with rendered cappings;
- Call Room: elevated call room to the north-east with parapetted red brick wall construction and a broad hipped roof form crowned by an elongated lantern light;
- Office & Toilets: modestly scaled single storey toilet and office wing with face brick parapetted wall construction, six panelled timber door with transom window and the timber framed double hung window;
- For its predominantly intact spatial layout reflective of original (1887) exchange functions of the building, with front ground floor shops and first floor offices, rear exchange hall flanked by arcades of broker's booths, rear/side call room and side office and toilets;
- For its predominantly intact interiors reflective of the original (1887) design. The intact interiors include (but may not be limited to):
 - Front Pavilion: layout and hard plaster walls, timber floors, timber skirtings, moulded timber window and door architraves, timber lined ceilings and six panelled timber doors to the southern shops; and the internal walls, four panelled timber doors, moulded timber architraves and some moulded timber skirtings to the first floor offices;
 - Mining Exchange Hall and flanking Broker's Booths: asphalt floor, curved (elliptical) exposed roof supported by fine wrought iron trusses, arcaded face brick walls on bluestone footings, stop chamfered brick pilasters with brick mouldings, brick stringcoursing, incised rendered signage panels and projecting cream brick cornices in the exchange hall; timber framed hopper sash fanlights and some timber framing and plastered walls and other details in the broker's booths;
 - Call Room: early coved beaded edged timber lining board ceiling, decorative turned timber Queen Post trusses, and elongated lantern light with frosted glazing. Introduced or repaired fabric includes the Baltic pine timber floor, hard plaster walls and high moulded timber skirtings and white marble fireplace. Other early features include the moulded timber door architraves, three panelled double timber entrance doors on the south wall (altered) and the four panelled timber doors on the south and west walls;

- Office and Toilets: original passage with beaded edged and stained timber lining board ceiling, painted brick walls, and six panelled and four panelled timber doors. Office (Space T1) with timber lined ceiling, hard plaster walls, moulded timber skirtings and timber framed double hung window;
- As an outstanding historical and social legacy of the wealth and prosperity which resulted from the gold mining activities in Ballarat from 1889 until the early 20th century, and particularly for its associations with the financial and business affairs of gold mining activities in Ballarat during that period;

5.3 Exterior Fabric

Policy

It is policy that the exterior of the Ballarat Mining Exchange is conserved to predominantly represent its original (1887) design.

Rationale

The external fabric of Ballarat Mining Exchange is largely intact and forms part of the primary conclusions made in the statement of significance. The exterior makes a significant contribution to the 19th century streetscape of this part of Lydiard Street North. It also reflects the prosperity of gold mining activities in Ballarat in the late 19th century through the intact Victorian Boom Classical styled front (west) façade and in the scale and elaborate brick construction of the building as a whole.

5.4 Interior Fabric

Policy

It is policy that the interior of the Ballarat Mining Exchange is conserved to predominantly reflect its original (1887) design.

Rationale

The significant interior fabric of the Ballarat Mining Exchange is identified in the statement of significance and General Policy in this report. The intact spatial layout provides a direct appreciation of the original Mining Exchange function of the building. The intact brick wall construction of the exchange hall, with its elaborate stop chamfered piers, arcades, stringcourses and cream brick cornices, together with the ornate timber Queen Post trusses and coved timber lining ceiling and elongated lantern light of the call room represent two of the major spaces of the building still reflective of their original purpose. Most of the previous restoration and reconstruction of these and other spaces have enhanced the significance of the interior fabric. Generally, the interior is of moderate-high integrity and therefore requires the retention of significant fabric while providing opportunities for alterations to introduced fabric. The General and Detailed Recommendations provide opportunities and constraints for future developments that are unlikely to diminish the significance of the place.

5.5 Setting

Policy

It is policy that the 19th century streetscape setting for the Ballarat Mining Exchange be retained to support the Victorian Boom Classical styled façade and the reconstructed elaborate cast iron verandah which contribute in a broader way to the character and architectural amenity of this area of Ballarat.

Rationale

The Mining Exchange building contributes to the highly important 19th century streetscape of Lydiard Street North that has a number of significant two and three storey commercial and public buildings. Visually connected to the Exchange building is a distinguished and rare grouping of four Victorian Renaissance Revival styled bank buildings all designed by the same architect, Leonard Terry. Immediately south of the Exchange is the landmark post office building, while to the north are the Old Colonist's Hall, Alexandria Tea Rooms and Ballarat Fine Art Gallery that also reflect the wealth and culture of Ballarat as a result of the goldrush.

5.6 Heritage Obligations

Heritage Council of Victoria

Policy

It is policy that the Ballarat Mining Exchange, 12 Lydiard Street North, Ballarat, continue to be individually listed externally and internally on the Victorian Heritage Register.

Rationale

The Ballarat Mining Exchange is the most intact Mining Exchange building still representative of its original function in Victoria. It is also one of few surviving 19th century Mining Exchange buildings in Australia. It is therefore imperative that the building and site continued to be included on the Victorian Heritage Register. This Report, and particularly the Statement of Cultural Significance (developed in accordance with the Criteria for Assessment of Cultural Heritage Significance adopted by the Heritage Council of Victoria) will assist in informing both the owners and the Heritage Council of Victoria of the specific significant fabric of the Exchange building.

5.7 Future Development & Control of Physical Intervention

The City of Ballarat engaged SED Consulting to prepare the 'Ballarat Mining Exchange Strategic Business Plan' (October 2001). This Report establishes potential future management, use and business opportunities for the Exchange building. It presents the Ballarat Mining Exchange as being ideally situated to benefit from the redeveloped Camp Street Arts precinct to the immediate east of the Exchange building. The Vision, Mission and Value Statements of the Business Plan are respectful of the significant heritage values of the Exchange Building and are therefore supported from a heritage viewpoint. These statements help to further assist in the potential long term viability and sustainability of the building which is essential for its future survival.

Vision Statement

The Vision Statement (draft statement) provided in the Business Plan is as follows:

- To develop a vibrant multi-purpose facility that will bring the Mining Exchange building to life.

Mission Statement

The Mission Statement provided in the Business Plan is as follows:

- To develop a community resource that is utilized by a broad range of stakeholders, engaged in activities that will generate social and economic capital for the City of Ballarat and its residents. This must be achieved whilst protecting the integrity of the nationally renowned ME [Mining Exchange] building.

Value Statements

The Value Statements listed in the Business Plan are provided below. The Plan suggests that these organizational values be workshopped by the first committee of management 'to ensure they have the ownership and support of all stakeholders within the strategic planning process.'

- All operations occurring within the ME must not cause damage to the listed heritage features of the building;
- The ME building should be preserved as a multi purpose facility, serving the needs of community groups, businesses and individuals;
- The ME should serve as a connecting link between the Ballarat CBD (Lydiard Street North) and the Camp Street precinct;
- The ME should be an alive, energetic facility which is generally used by the community 7 days per week, 52 weeks of the year. In doing so it should bring life to the centre of the city, in particular the Camp Street precinct;
- All stakeholders should at all times be open and honest in their dealings with each other and members of the community;
- The ME through its activities will not become a financial drain upon the wider community. With a three year period it should be self-supporting from a recurrent income and expenses point of view;
- The ME will work in partnership with other community based facilities and organizations to develop areas such as the arts, music, theatre, crafts, recreation and personal development; and
- Members of the broader community will be encouraged to be actively involved in the management of the ME.

Policy 1

It is policy that any new developments at the Ballarat Mining Exchange account for the significant fabric and integrity of the place, together with the Vision, Mission and Organisational Value Statements and other outcomes provided in the Ballarat Mining Exchange Strategic Plan.

Rationale

Consideration of the significant original exterior and interior fabric of the Ballarat Mining Exchange building will help to ensure that the

significance of the place will not be compromised. There are appropriate possibilities, for example, for altering the introduced aluminium framed and glazed doors to the entrance of the exchange hall; and for removing and replacing the introduced windows and wall cladding on the east wall to provide easy and efficient access into the building. Other suggestions for potential changes, including the upgrading of the toilets, new kitchen, signage and other features are discussed in Section 6: Recommendations and Scope of Works.

Policy 2

It is policy that all future developments to the Ballarat Mining Exchange are carried out according to:

6. Australia ICOMOS Burra Charter (Appendix 8.06);
7. Conservation Policy, Recommendations & Works & Maintenance Items of this Report;
8. Ballarat Mining Exchange Strategic Business Plan prepared for the City of Ballarat by SED Consulting, October 2001;
9. Building Code of Australia and Health and Safety Regulations;
10. Any additional permit conditions required by Heritage Victoria;

Rationale

The ICOMOS Burra Charter is the pre-eminent conservation document in Australia. The Conservation Policies, Recommendations and Works and Maintenance Items in this Report have been based on physical analyses, discussions with officers of the City of Ballarat, perusal of the Ballarat Mining Exchange Strategic Business Plan, as well the articles and guidelines of the Burra Charter to help ensure that the cultural significance of the Ballarat Mining Exchange is retained.

5.8 Use

The Ballarat Mining Exchange Strategic Business Plan includes the consideration of developing the Ballarat Mining Exchange into a Multi-Use Complex that has a flexible range of uses. Some of the specific uses for the Mining Exchange building listed in the Business Plan are:

- Development of a fortnightly arts/craft and food market. The market would be targeted at higher yield segments of the community and could become a visitor attraction in its own right;
- Base for community based arts and cultural groups, on a fee for service basis;
- Use as a rehearsal, performance, display and promotional space;
- University to have access to display and rehearsal spaces, on a fee for service basis;
- Available for use by community and commercially based festivals and events that fit within the values statement for the ME;
- City of Ballarat Community Arts Department or Events Ballarat and Beyond to move into office space to assist with management of facility;
- Call for Expression of Interest from prospective users who may have an interest in using the ME on a casual or semi permanent

basis – ensure use fits within the values statement for the ME and have capacity to pay for use of the facility;

- Maintenance of Open Space for Commercial and Community usage; and
- Develop ME as an attraction in its own right – ME should become a unique thoroughfare between the Ballarat CBD and the Camp Street precinct;

In the immediate future in December 2003, the City of Ballarat proposes to hold a Eureka Dinner in the Exchange Hall.

Policy

Multi-Function Complex

It is policy that the Ballarat Mining Exchange be utilised in a way that reflects favorably upon its original purpose and cultural significance. The use as a multi-function centre is appropriate, as the building has not been used as an Exchange for many years. Any uses associated with a Multi-Function complex should ensure minimal change to significant fabric and the original associations and meanings of the place should be respected and highlighted.

Inappropriate Uses

Inappropriate uses include (but are not limited to): gaming facility, T.A.B. outlet, night club, X-rated adult entertainment and other related activities that do not receive wide-spread community appeal and support.

Rationale

The Ballarat Mining Exchange provides an architectural, historic and social understanding and appreciation of the highly prosperous Ballarat Exchange in the 19th and early 20th centuries. Widespread and varied activities have formed part of the building since its opening in 1889. Given that it is unrealistic and impossible to expect the building to serve as a Stock Exchange in the future, the multi-function complex use proposed is highly appropriate and valid.

Article 7 of the Australia ICOMOS Burra Charter has been used as the basis to the above policy, and the Article states:

7.1 Where the use of a place is of cultural significance it should be retained.

7.2 A place should have a compatible use.

Any activity that did not complement the cultural significance of the place in any way and/or required the loss of significant fabric would not be appropriate.

5.9 Statutory Constraints

Building Code of Australia

Policy

It is policy that all building works, useage and introduction of amenities for the Ballarat Mining Exchange are carried out in accordance with the appropriate Building Regulations.

Heritage Overlay Controls

Heritage Victoria

Policy

It is policy that the current extent of designation shown in Heritage Victoria's registration be retained. The Ballarat Mining Exchange is included on the Victorian Heritage Register as H391. Approval for buildings, works, demolition, removal etc is required to be obtained from Heritage Victoria.

City of Ballarat

Policy

It is policy that the site continues to be included in the Schedule to the Heritage Overlay in the City of Ballarat Planning Scheme Ordinance with a ref no. HO65. It is also policy that the building continues to be situated within the Lydiard Street North and Camp Street Heritage Area HO49.

5.10 Interpretation

Policy

It is policy that appropriate interpretation is provided to give an understanding and appreciation of the history, design, construction and past uses of the Ballarat Mining Exchange.

Some interpretive opportunities are integrated in the Ballarat Mining Exchange Strategic Business Plan as marketing opportunities. Interpretative ideas that form part of the marketing strategies included in the Business Plan are:

- Develop a brochure for the ME that is eye catching and explains the range of facilities and services offered at the ME. [This brochure should also include a small section on the historical background and cultural significance of the Exchange building];
- Conduct a major public opening of the "new ME". [This opening could include background information about the original use of the place and the importance it has to Victoria's cultural heritage];
- Develop a high profile, consistent 'branding' strategy for the ME that is consistent with its heritage status – use logo and images in all forms of advertising, on letterheads, invoices and brochures;
- Establish links with the Visitor Information Centre and other major tourist attractions to promote the market. [As part of these links, the heritage values and cultural significance of the Exchange building could also be highlighted. One particular linked that could be further investigated is with Sovereign Hill. This tourist attraction promotes the goldfields activities of Ballarat in the mid 19th century and a direct link to the authentic Mining Exchange building could have advantages in providing an even greater appreciation of Ballarat's gold mining history];

- Develop an ME web page that is interactive and informative and linked to Ballarat Tourism and City of Ballarat sites;

Other interpretive opportunities available for further exploration include (but are not limited to):

- Occasional Open Days targeted to various specific interest groups (ie. historical societies, National Trust, family history groups, etc.);
- Possible development of an appropriate historical display panel that explains the historical, architectural and social significance of the building in the foyer to the exchange hall. The panel/s could entail a high quality copy of some historical photographs of the building;

Rationale

Interpretation provides appropriate ways of highlighting the important components and fabric of the building to the public and the visitor. In this way, an appreciation of the significance of the place can be achieved on a wider scale.

5.11 Management

The Ballarat Mining Exchange Strategic Business Plan provides recommendations for a future management strategy and structure of the Mining Exchange building. The "Major Issue Identification" measures and "Management Structure" should ensure an appropriate future management of the building that takes account of the significance of the place.

Policy

In addition to the Strategic Business Plan, it is policy that the appropriate management of the Ballarat Mining Exchange includes the conservation, restoration, maintenance, security and responsible use of the significant fabric. This Report should be used as a reference document for all conservation works.

The City of Ballarat and potentially a new Mining Exchange Management Committee has a responsibility to ensure that appropriate strategies take account of the above policy. These strategies should include (but not be limited to):

- Regular maintenance plans that address the Recommendations, Works and Maintenance Items of this Report;
- Security measures: Consideration should be given to installing a security system with satisfactory operation and surveillance;
- Visitor Code of Conduct: At present, there is no appropriate signage regarding visitors' code of conduct. Visitors need to be given an understanding of the significant historic and architectural characteristics of the Exchange Building and that its fabric needs to be treated with care and respect. A short written policy document available to visitors, and/or a small appropriately located notification panel in the building may be some ways of providing adequate appreciation;
- Car Parking: Potential multi-functional uses of the Exchange Building will require large numbers of car parking spaces at selected times. Consideration needs to be given to addressing this issue;

5.12 Funding Opportunities

Funding opportunities may be available for restoration works to the Ballarat Mechanics Institute from some Government Departments and agencies. Some of the financial opportunities currently available include the following.

A. Cultural Heritage Projects Program (Australian Heritage Commission) (Federal Government)

Environment Australia, an agency of the Federation Department of Environment and Heritage, offers assistance for projects that are primarily for conservation works to places of national significance, and are able to be completed within 12 to 18 months after Acceptance of Offer. Individual funding is expected to range from a minimum of \$10,000 to a maximum of \$250,000. For further details contact the Australian Heritage Commission on ph. (03) 6274 1111 or 1800 653 004, or www.ahc.gov.au.

B. Victorian Heritage Program (Heritage Victoria) (State Government)

The Victorian Heritage Program is administered by the Department of Sustainability and Environment through the Public Heritage Unit of Heritage Victoria. The City of Ballarat may be eligible to make application for a funding grant to assist with capital works for conservation, adaptation and interpretation of the Ballarat Mining Exchange as place of State/National significance. For further

information, contact Heritage Victoria, ph. 9655 6519, or www.heritage.vic.gov.au.

D. Community Support Fund (State Government)

The Victorian State Government provides a community support fund of approximately \$100 million for cultural and sports facilities, reinvesting revenue raised from gaming into community recreation, education and employment. For further information, contact the Premier's Media Office, ph. 9651 6799.

E. Regional Infrastructure Development Fund (State Government)

The Regional Infrastructure Development Fund was established in 1999 to provide capital works in regional communities to:

- Support new industry development;
- Link transport infrastructure;
- Improve tourism facilities;
- Better link regional Victoria to new opportunities in education and Information and Communication Technologies (ICT) Infrastructure;

For further details, contact Project Manager, Regional Infrastructure Development Fund, Department of Innovation, Industry and Regional Development, ph. 9651 9138.

F. Regional Solutions Program (Federal Government)

The Regional Solutions Program helps regional and rural communities find local solutions to local challenges. It assists with local projects to improve local economies and access to services. The Program primarily aims to work with rural and regional communities facing economic challenges, a declining population due to industry restructuring, a lack of development opportunities, or high levels of unemployment and social disadvantage.

The Program provides grants of up to \$50,000 in total over two years to support the implementation of small-scale development projects.

The Program funding is available for non-profit groups with strong support from their community or region. For further details, ph. 1800 026 222 (free call).

Rationale

Opportunities for additional funding will help to maintain and enhance the significant fabric of the Ballarat Mining Exchange.

5.13 Lodgment of the Conservation Management Plan Policy

In addition to the provision of a copy of this Conservation Management Plan to Heritage Victoria, it is policy that it also be lodged with the Ballarat Regional Library.

Rationale

Although a copy of the Conservation Management Plan will be located in the offices of the City of Ballarat and Heritage Victoria, a copy of the Report in a recognised local repository is in accordance with the ICOMOS Burra Charter and provides easier access to those interested in the place or for researchers carrying out more detail investigations.

5.14 Further Research

An article in *The Courier* newspaper for 30 July 1977 mentioned that historical research was being carried out on the Mining Exchange building. Names of the early occupiers of the brokers' cubicles had been prepared. This information has not been located in the City of Ballarat files, Heritage Victoria files or the files at the National Trust (Melbourne). Further research may uncover this information and provide more specific social details on the occupants of the building in the early years.

Further investigations could be carried out on the signage identified on the interior of the Exchange hall. This signage has been broadly covered in this report but further details analyses could provide an additional appreciation of the users and businesses in Ballarat.

□ **SECTION 6**

6.0 Recommendations, Works & Maintenance

□ SECTION 6

6.0 Recommendations, Works & Maintenance

6.1 Introduction

The following Recommendations, Works and Maintenance items should be read in conjunction with the Existing Floor Plans & Photographic Keys and Building Integrity Key (Drawings 1.01-04, Appendix 8.011) and the recent photographs (Appendix 8.03).

6.1.1 Explanatory

The following recommendations have been formatted according to a specific order of priority and hierarchy. Essential works are those conservation, restoration, repair and reconstruction works that should be carried out and given priority.

Short term relates to a 3-year work program, while long terms equates to approximately 5-8 years.

Desirable works are those works that ultimately should also be carried out, but they are not absolutely essential, particularly in the short term. It will be found that there is duplication in some of the recommendations, as Desirable (Short Term) works that are not carried out within a 3-year period should then be considered Essential (Long Term) works, following the hierarchical order of priority.

All Recommendations/Strategies and Works have been tabulated, with Photograph columns provided so that the items can be cross-referenced with the rest of the Report. Potential Heritage Victoria Permit Exemptions have also been noted below and as "ticks" in the Recommendations and Works tables.

6.1.2 Recommended Permit Exemptions

The following recommended permit exemptions, together with those exemptions listed in with the Recommendations, Works and Maintenance Items, are recommended permit exemptions only. Formal application to the Executive Director of Heritage Victoria is required for these exemptions to be officially ratified as part of the heritage registration of the place.

A. General Permit Conditions

- All alterations are to be planned and carried out in a manner that prevents damage to the fabric of the registered place or object.
- Should it become apparent during further inspection or the carrying out of alterations that original or previously hidden or inaccessible details of the place or object are revealed which relate to the significance of the place or object, then the exemption covering such alteration shall cease and the Executive Director shall be notified as soon as possible.
- If there is a conservation policy and plan approved by the Executive Director, all works shall be in accordance with it.

- Nothing in this declaration prevents the Executive Director from amending or rescinding all or any of the permit exemptions.
- Nothing in this declaration exempts owners or their agents from the responsibility to seek relevant planning or building permits from the responsible authority where applicable.

Building: Exterior

- Repairs and maintenance which replace like with like, including fences and gates.
- Repainting all previously painted surfaces in the same colour scheme and paint type.
- Repair and servicing of equipment and services including lifts, wiring, plumbing, heating, air conditioning and fire services; equipment and components with moveable parts requiring lubrication including machinery, engines, water reticulation systems.
- Removal of extraneous items such as air conditioners, pipe work, ducting, wiring, antennae, aerials etc, and making good.
- Laying or repair of gravel/toppings to the driveways and internal roads.
- Maintenance of power or pipelines or other public services located on the property where this involves no alteration to the fabric of the place.
- Cleaning out gutters, drainage systems, ponds, dams and other water storage and drainage areas.

Building: Interior

- Painting of previously painted walls and ceilings provided that preparation or painting does not remove evidence of the original paint or other decorative scheme. All existing signage to be retained.
- Removal of paint by approved method from originally unpainted or oiled joinery, doors, architraves, skirtings and decorative strapping.
- Installation, removal or replacement of carpets and/or flexible floor coverings.
- Installation, removal or replacement of curtain track, rods, blinds and other window dressings.
- Installation, removal or replacement of hooks, nails and other devices for the hanging of mirrors, paintings and other wall mounted artworks.
- Installation, removal or replacement of electrical wiring provided that all new wiring is fully concealed.
- Installation, removal or replacement of smoke detectors.

Recommendations & Scope of Works

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
6.2	EXTERIOR			
6.2.1	GENERAL RECOMMENDATIONS			
A.	EXTERNAL PAINTING			
•	Unpainted surfaces including the face brickwork, cement dressings and galvanised corrugated steel roof cladding should not be painted;	3.01-3.10		NCA
•	Opportunities are available for painting the exterior window frames and sashes, doors, and verandah in appropriate colours as existing;		✓	NCA
B.	DEMOLITION & REMOVAL OF BUILDING STRUCTURES OR FABRIC			NCA
•	Very few opportunities are available for the demolition or removal of building spaces at the Mining Exchange, given the high integrity of the place. Given the low integrity and poor condition of the former Men's Toilet space, opportunities are available for the adaptation of this space, including the demolition of the introduced timber framed corrugated acrylic roof structure. For further details about the changes to the former Men's Toilets, refer to Section 6.6.4 Opportunities are also available for removing the introduced bank of timber framed double hung windows and wall cladding in the large opening on the east wall. For further details, refer to Section 6.6.2; Opportunities are available to remove the introduced bank of timber framed double hung windows (with timber wall cladding surrounds and introduced steel I lintel) on the east façade. This introduced fabric in the large opening could be replaced with a timber framed and glazed door partition (or other similar glazed openable partition) that allows the space to be fully openable for the ingress of vehicles and large objects;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
C.	NEW WORKS			
•	Very few opportunities are available for additions and other new works to the exterior of the Mining Exchange, given that the building takes up the bulk of the site and that the exterior form and facades are largely intact.			NCA
•	External Café Seating & Tables Opportunities are available for continuing external seating and tables as part of a café. Any furniture and associated features should not be fixed to the building, should be considered temporary in nature and comply with the City of Ballarat's <i>Guidelines for Kerbside Eating Facilities</i> . Given the high integrity and elevated significance of the Mining Exchange exterior, introduced kerbside screens are considered undesirable;	3.04		NCA
•	Toilet Upgrade Details of the schematic proposal for the upgrading of the toilets to meet the expected new uses for the building are provided in Section 6.6.4.			NCA
•	Commercial Kitchen Given the flexible uses and varying number of expected visitors to the Exchange building (the number of visitors depending on the use), and the high integrity of the interior spaces and limited access for waste disposal and food deliveries (and the need for spatial separation between waste disposal and food deliveries), consideration should be given to portable catering facilities that can be commissioned on an "as needs" basis. The Call Room or some of the smaller booth spaces could then be used as preparation/serving spaces. Alternatively, there may be a limited opportunity for substantial reconfiguration of the existing store (space FG02) and kitchen area of the café (space FG01) for a new, more permanent and shared commercial kitchen. The booth in the north-west corner of the Exchange Hall (space B01) would possibly be needed as a cool room, therefore requiring the reconstruction of the original timber and glazed partition. There are potential conflicts with waste disposal and food deliveries, given the access constraints and these conflicts would need to be assessed by Council's Building Surveyor and Health Officer. Opportunities are available for a small kitchen at the rear (east). A larger opening in the wall between Booths 12 and 13 could be considered as a space for a smaller, more permanent kitchen for casual use. Further confirmation is required from Council's Building Surveyor and Health Officer;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
D.	<p>SIGNAGE</p> <p>External signage should be discreet and complement the building. Signage on the face brickwork, dressings and the verandah decoration should be avoided. Opportunities are available for shopfront signage, preferably applied to the inner face of the glass. There are also opportunities for suspended (below verandah) signage. Any signage should be of a design that complements the predominant Late Victorian Boom Classical style and colours of the Mining Exchange building, with sympathetic face lettering. Fluorescent and iridescent paints and internally illuminated signs should not be allowed.</p>	<p>3.01 3.04-3.05</p>		<p>NCA</p>
E.	<p>FIRE EXITS</p> <p>New fire exits could be detrimental to the appearance of the Mining Exchange building. A fire prevention program and fire emergency program should be developed as a first priority as part of the consideration of new uses for the building. Any new exits should consider the impact on the architectural and visual amenity of the building. All options should be considered before significant fabric is removed or altered, as from a heritage viewpoint there are no opportunities for establishing new openings in the Exchange exterior walls. Opportunities are already available for fire exits to Lydiard Street and to the rear (east) of the Exchange Hall via the rear eastern exit passage. A single door opening also exists on the west wall of the passage to the former Men's Toilets (space T03) that provides external access to the right of way to the north of the Exchange Hall. There may be limited opportunities for additional exits from the south wall (east end) of the call room space CR01 and from the south wall of one of the southern booths off the Exchange Hall. These additional exits should only be considered if absolutely necessary and in accordance with an assessment of Council's Building Surveyor.</p>			<p>NCA</p>
F.	<p>EXTERNAL PLANT & EQUIPMENT</p> <p>Limited opportunities are available for the introduction of new plant and equipment. Areas of roof not visible from the street or rarely visible from the immediate surrounding area (such as from the University of Ballarat building) may be considered;</p>			

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
6.2.2	FRONT PAVILION			
A.	GENERAL EXTERIOR RECOMMENDATIONS			
•	Retain original (1888) two storey height and Victorian Boom Classical styled rectangular form;	3.01		NCA
•	Retain reconstructed broadly projecting ground floor convex verandah with its central segmented arched canopy (having decorative cast iron infill framed by the name "Mining Exchange" and adorned with a cast iron finial), paired cast iron verandah columns, cast iron brackets and valances, and striped paintwork on the verandah roof (west elevation);	3.01, 3.03		NCA
•	Retain original (1888) arcaded ground floor shopfronts having smoothly rusticated and rendered arches supported by smooth rendered piers and pilasters with projecting capital mouldings (west elevation);	3.04		NCA
•	Retain original (1888) timber framed ground floor shopfront windows within the arches (west elevation);	3.04		NCA
•	Retain reconstructed ground floor six panelled timber shopfront doors with timber framed transom windows above (west elevation);	3.08		NCA
•	Retain original (1888) large central smoothly rusticated coved ground floor entrance arch with highly elaborate floral relief bands and two six panelled timber doors (with round-arched fanlights above) forming its base (west elevation);	3.07		NCA
•	Retain ground floor wrought iron entrance gates within coved archway (west elevation);	3.08		NCA
•	Retain original (1888) three bayed composition of the first floor separated by projecting face brick pilasters with rendered capitals having incised panels (west elevation);	3.01		NCA
•	Retain original (1888) first floor face brown brick wall construction with rendered dressings (west elevation);	3.02		NCA
•	Retain original (1888) first floor bays of three timber framed double hung windows adorned with moulded rendered aedicules (west elevation);	3.01		NCA
•	Retain original (1888) elaborated scrolled pediment surmounting the central first floor window bay (west elevation);	3.02		NCA
•	Retain original (1888) rendered band of relief panels at the first floor window bases to the central bay (west elevation);	3.01		NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) segmental pediments to the flanking first floor window bays (west elevation);	3.01-3.02		NCA
•	Retain original (1888) rendered balustraded bands at the first floor window bases of the flanking bays (west elevation);	3.01-3.02		NCA
•	Retain original (1888) wide, rendered band with incised panels in the upper reaches of the first floor (west elevation);	3.01-3.02		NCA
•	Retain original (1888) elaborate balustraded parapet with its band of decorative modillions along its base and bays of rendered pedestals with incised panels which support decorative urns (the more centralized urns are more elaborate), and the central small raised segmental pediment which features the title panel with the date "1888" inscribed within it (west elevation);	3.01-3.02		NCA
•	Retain original (1888) face red brick side walls with curved and straight parapets (north and south elevations);			NCA
•	Retain original (1888) face brick chimneys with rendered moulded tops (north and south elevations);			NCA
•	Retain original (1888) attached hipped roof forms (as a grouping of three) behind the west elevation parapet;			NCA
•	Retain the galvanised corrugated steel roof cladding;			NCA
•	Monitor minor cracking in the balustraded bases to the flanking first floor window bays (west elevation);			NCA
B.1	FRONT PAVILION: SHORT TERM ESSENTIAL EXTERIOR WORKS & MAINTENANCE			
•	Clean the ground floor verandah flashings and gutters, particularly where there is weathering and damp build up on the end flashings. This should be carried out annually;	3.01, 3.03	✓	\$530
•	Lower the ground level under the verandah so that the subfloor ventilation openings are free of debris;	3.09-3.10	✓	\$11,540
•	Repair and restore weathered timber window frames to first floor windows (east elevation);	3.47, 3.55	✓	\$1,200
•	Replace broken window pane and repair broken sash cord to first floor window (east elevation, north end);		✓	\$250
•	Replace introduced corrugated acrylic roof sheeting over original skylights with double glazed panels such as Velux or equivalent;	3.44, 3.46		\$2,240

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
B.2	FRONT PAVILION: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL EXTERIOR WORKS & MAINTENANCE			
•	Re-render the projecting rendered band above the window bay (west elevation) to ensure adequate shedding of water and to minimise the staining on the brickwork below;	3.02	✓	\$1,450
B.3	FRONT PAVILION: LONG TERM DESIRABLE EXTERIOR WORKS & MAINTENANCE			
•	Replace introduced ground floor aluminium framed and glazed shopfront door (west elevation) with a six panelled timber door to match existing original panelled timber shopfront doors. A lesser alternative is to replace the aluminium framed door with a timber framed and glazed door;	3.05		\$1,200
•	Remove paintwork on arched café shopfront;	3.05		\$1,440
6.2.3	MINING EXCHANGE HALL			
A.	GENERAL EXTERIOR RECOMMENDATIONS			
•	Retain original (1888) raised and curved central roof form;	3.11		NCA
•	Retain galvanised corrugated steel roof cladding;	3.11		NCA
•	Retain original (1888) face red brick wall construction (north, south and east elevations);	3.11-3.12		NCA
•	Retain original (1888) unpainted bluestone plinth (north, south and east elevations);	3.12		NCA
•	Retain original (1888) arched clerestory windows with projecting brick buttressing between (north, south and east elevations);	3.14		NCA
•	Retain original (1888) three panelled double timber doors with timber framed transom window above (east elevation);	3.13		NCA
•	Retain original (1888) timber framed double hung single windows (east elevation);	3.12		NCA
•	Retain original (1888) timber framed clerestory windows (north, south and east elevations);	3.11, 3.13-3.14		NCA
•	Retain original (1888) rendered cappings to parapet walls (north, south and east elevations);	3.11		NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
B.1	MINING EXCHANGE HALL: SHORT TERM ESSENTIAL EXTERIOR WORKS & MAINTENANCE			
•	Regularly clean out debris from gutters and valleys. This should be carried out quarterly;		✓	\$650
•	Lightly sand, prime and paint timber fascias (elevated roof section) (north, south and east elevations);		✓	\$950
•	Replace sections of deteriorated timber fascias of identical size, form and material (north, south and east elevations);		✓	\$2,650
•	Reattach and lightly sand, prime and paint timber scotia moulds to timber fascias (elevated roof section) (north, south and east elevations);	3.17	✓	\$350
•	Replace deteriorated sections of timber scotia moulds to timber fascias with scotias of identical size, form and material (north, south and east elevations);	3.17	✓	\$500
•	Reconfigure and reattach gutters to ensure adequate slope (elevated roof section) (north, south and east elevations);		✓	\$2,600
•	Remove and clean build up of organic growth on rendered parapet cappings, sills and box gutters with water-based cleaning using atomized water. If necessary, lightly scrub with a bristle brush and treat with chemicals free of soluble salts (north, south and east elevations);	3.11	✓	\$1,760
•	Engage a roof plumber to investigate the apparent reaction of the large introduced zincalume roof vent and zincalume base with the galvanised corrugated steel roof cladding (north-side of elevated roof section, west end). If the reaction is confirmed, then replace the zincalume vent with a galvanised steel vent and corrugated galvanised steel base;	3.16	✓	\$1,420
•	Lightly sand, prime and paint all timber window frames and sashes, including the round-arched clerestory window frames;	3.20	✓	\$1,230
•	Replace poorly re-rendered parapet capping to east elevation with a new rendered capping. The render should be non-synthetic, of a traditional mix of the same strength, colour and texture as the nearby original rendered cappings. Ideally, the renderer should test the existing original render. A common mix listed in H. Lardner, Caring for Historic Buildings (Historic Buildings Council, 1993) for cement render repairs is 1:4 cement: sand (minimum);	3.12, 3.14		\$1,290

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [√])	Cost Estimate (Works Only) NCA = no cost allowed
•	Repair and restore damaged wall ventilation openings (south elevation);		√	\$1,200
•	Repair spalled render to parapet capping (north elevation - where exposed to the end of the rear lane/right of way). The render should be non-synthetic, of a traditional mix of the same strength, colour and texture as the existing original. Ideally, the renderer should test the existing original render. A common mix listed in H. Lardner, Caring for Historic Buildings (Historic Buildings Council, 1993) for cement render repairs is 1:4 cement: sand (minimum);	3.20		\$1,530
•	Repair leaking gas meter (at end of the rear lane/right of way);	3.21	√	\$200
•	Repair possible leakage in downpipe near ladies toilet windows (at end of the rear lane/right of way);	3.21-3.22	√	\$270
•	Lightly sand, prime and paint ladies toilet timber window frames;	3.21	√	\$110
B.2	MINING EXCHANGE HALL: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL EXTERIOR WORKS & MAINTENANCE			
•	Clean (with a wire brush) rust deterioration to the introduced steel I lintel on the east elevation and treat with rust inhibitor the prime and paint;	3.13	√	\$200
•	Engage a Structural Engineer to investigate the structural integrity of the introduced steel I lintel on the east elevation;	3.13	√	NCA
6.2.4	CALL ROOM			
A.	GENERAL EXTERIOR RECOMMENDATIONS			
•	Retain original (1888) elevated height and rectangular form;	3.18a		NCA
•	Retain original (1888) face red brick parapetted wall construction;	3.18a-3.18c		NCA
•	Retain original (1888) rendered cappings to the parapet walls;	3.18a		NCA
•	Retain original (1888) hipped roof form with an elongated lantern light having a curved roof;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain galvanised corrugated steel roof cladding;	3.18a		NCA
B.1	CALL ROOM SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced corrugated acrylic sheeting to the lantern light. Restore and repair all deteriorated timber window framing to the lantern light (south elevation) and introduce new glazing (either frosted or clear). Prime and paint window frames and other details;	3.18a		\$3,000
•	Remove and clean build up of organic growth on rendered parapet cappings, and box gutters with water-based cleaning using atomized water. If necessary, lightly scrub with a bristle brush and treat with chemicals free of soluble salts (north, south and east elevations);		✓	\$400
•	Regularly clean out debris from gutters, valleys and flashings. This should be carried out quarterly. In particular, immediately clear the build up of debris in the box gutter on the south side (east corner) of the building which is currently causing rainwater to overflow onto the brick wall below. This in turn is causing internal dampness and deterioration of the hard plaster wall. Investigate roof plumbing – may require rainhead and downpipe at this location;		✓	\$950
6.2.5	TOILETS, OFFICE & PASSAGE WING			
A.	GENERAL EXTERIOR RECOMMENDATIONS			
•	Retain face brick parapetted wall construction (west elevation);	3.22-3.24		NCA
•	Retain rendered capping to parapet (west elevation);	3.23		NCA
•	Retain timber framed double hung window (west elevation);	3.23		NCA
•	Retain original (1888) six panelled timber door with timber framed transom window above (west elevation);	3.22		NCA
•	Retain bluestone window sill (west elevation);	3.23		NCA
•	Monitor brick deterioration on west wall;	3.23		NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [√])	Cost Estimate (Works Only) NCA = no cost allowed
B.1	TOILETS, OFFICE & PASSAGE WING: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Repair spalled render to parapet capping (west elevation). The render should be non-synthetic, of a traditional mix of the same strength, colour and texture as the existing original. Ideally, the renderer should test the existing original render. A common mix listed in H. Lardner, Caring for Historic Buildings (Historic Buildings Council, 1993) for cement render repairs is 1:4 cement: sand (minimum);	3.23		\$650
•	Remove and clean build up of organic growth on bluestone window sill (west elevation) with water-based cleaning using atomized water. If necessary, lightly scrub with a bristle brush and treat with chemicals free of soluble salts;	3.23	√	\$230
•	Restore and repair deteriorated timber window frames and sash. Prime and paint;	3.23	√	\$400
•	Restore and repair damaged north-west corner of brickwork and pointing (west elevation);	3.24		\$220
•	Restore or replace deteriorated toilet windows (west elevation). Any new windows should be constructed with timber frames;		√	\$1,000
•	Remove the introduced raised concrete slab in northern area of toilets;	3.25	√	\$1,550
•	Remove the timber and galvanised corrugated steel partition (north elevation). See INTERIOR WORKS in Section 6.6.4 for further details;	3.25		\$300
B.2	TOILETS, OFFICE & PASSAGE WING: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Engage a specialist to investigate the need for a damp proof course in west wall to reduce deterioration caused by rising damp;	3.22		NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
6.3	INTERIOR (GENERAL)			
6.3.1	RETENTION OF SIGNIFICANT FABRIC			NCA
•	Retain the original and early spatial configuration of the interior;			NCA
•	Retain the original and early internal walls;			NCA
•	Retain the original/early timber floor boards;			NCA
•	Retain the original and early timber framed windows;			NCA
•	Retain the original and early timber skirtings and architraves;			NCA
•	Retain the original timber staircase;			NCA
•	Retain the original fireplaces and chimney breasts;			NCA
•	Retain the original, early and reconstructed round-arched hopper sash fanlights in the booth arcades;			NCA
•	Retain the reconstructed timber and glazed partition walls to the booths;			NCA
•	Retain the original, early and reconstructed panelled timber doors and original door furniture;			NCA
6.3.2	BUILDING CIRCULATION			
•	Original/early thoroughfares for accessing the interiors of the building such as the entrance lobby and stair hall, rear and side passages off the Exchange Hall, and the foyer and passages on the first floor should be retained;			NCA
•	The significant timber staircase should be retained and conserved and its use in the building's circulation system maintained;	3.36		NCA
•	If necessary, opportunities may be available for the introduction of a lift in the rear space of the Shop (in Space FG03b). However, this should only be carefully considered if there is a long-term use for the first floor spaces that requires a lift;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
6.3.3	ELECTRICAL & OTHER RELATED SERVICES			
•	If new electrical, fire and other related services need to be provided internally, investigate methods of introduction that are the least visually intrusive, and require the least amount of intervention into significant wall, ceiling and floor fabric (ie. by utilizing existing openings and ducts where possible);			NCA
•	Any new plumbing pipework should be sensitively located to minimise impact on the original fabric;			NCA
6.3.4	FITTINGS & FIXTURES			
•	The installation of any new fittings and fixtures (such as light fittings, door handles, etc.) should not replicate any original fittings and fixtures. This may cause confusion between the actual original items and the introduced items. Any new fittings or fixtures should be contemporary in design, but respectful to the proportions, design and details of the interior;			NCA
•	Opportunities are available for new lighting in the Exchange Hall – see section 6.4.16 for further details.			NCA
•	Opportunities are particularly available for new lighting in the Call Room, with the removal of the introduced suspended fluorescent lights – see section 6.4.45 for further details.			NCA
6.3.5	INTERIOR PAINTING			
•	All internal painting should be confined to original painted surfaces. All unpainted surfaces should remain unpainted. All originally unpainted or stained timber joinery should not be painted;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [X])	Cost Estimate (Works Only) NCA = no cost allowed
<ul style="list-style-type: none"> • 	<p>Mining Exchange Hall – Booth Partitions</p> <p>Opportunities are available for painting the existing timber and glazed booth partitions in the Exchange Hall (space H01) in colours that are more reflective of the original (1888) design. Preliminary paint scrapes of the remnant original timber stiles and fanlight for Booth 1 (space BO1) appear to have indicated the following (all colours have been referenced from Haymes Colour Charts):</p> <p>Stile: Deep Indian Red Upper Sash (Fanlight): Deep Indian Red Moulding: Deep Indian Red</p> <p>Figure 2.01 shows the interior of the Exchange Hall in c.1890. The booth partitions and doors appear to have been dark in colour. The north face of the panelled timber door of the Exchange Hall leading to the toilets (space T03) appears to confirm the dark tones. However, the inset panels and panel mouldings of this door appears to have been painted in Stockade Tan.</p> <p>From the preliminary paint scrapes, it is recommended that consideration be given to repainting the timber booth partitions and doors in the early colour scheme. The timber partitions and doors could be painted in Deep Indian Red with Stockade Tan panels and panel mouldings, but more analysis is required to confirm the colour scheme and colour placement.</p>	<p>3.58-3.60 3.64-3.65</p>		<p>NCA</p>
<ul style="list-style-type: none"> • 	<p>Alternatively, the existing Manilla colour of the partitions and doors could be retained. Figure 2.02 shows the interior of the Exchange Hall in c.1900. At that time, the partitions and doors appear to have been painted over in one light colour (without the panels and mouldings being picked out in other colours). Opportunities are available for returning to Manilla only for the whole of the partitions and doors. More analysis is required to confirm the colour scheme.</p>			<p>NCA</p>

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
<ul style="list-style-type: none"> • 	<p>Call Room</p> <p>Opportunities are available for painting the call room in a colour scheme reflective of the original (1888) design. The walls are currently painted in a Grey Green, as are the timber trusses and cornices. The lining board ceiling is stained.</p> <p>Preliminary paint scrapes indicated that the lower reaches of the walls were painted in Deep Indian Red, with the upper walls in Hampton Court. These tonings are confirmed in Figure 2.03, which shows part of the interior of the Call Room in 1904. The cornices are shown in a slightly darker colour, but paint scrapes have not been carried out in this area.</p> <p>From preliminary analysis, consideration could be given to Hampton Court upper walls, Deep Indian Red dados (there is evidence of the extent of the dado on the wall), with a slightly darker colour for the cornices and Hampton Court for the exposed timber trusses. More analysis is required to confirm the colour scheme;</p>	3.84		NCA
<ul style="list-style-type: none"> • 	<p>First Floor Spaces – Front Pavilion</p> <p>Opportunities are available for painting interior walls and ceilings (already painted) and other painted details in appropriate colours that are respectful to the interiors of the 1888 era;</p>			NCA
<ul style="list-style-type: none"> • 	<p>Other Painted Internal Walls</p> <p>Opportunities are available for painting interior walls and ceilings (already painted) and other painted details in appropriate colours that are respectful to the interiors of the 1888 era;</p>			NCA
6.3.6	EARLY & PROPOSED SIGNAGE			
<ul style="list-style-type: none"> • 	<p>Early Significant Signage</p> <p>Retain early signage in mining exchange hall, including (but not limited to) the incised panels below the clerestory windows and on the first floor of the west wall, and the painted booth numbers within the fanlights of the trading booths;</p>	3.70-3.71 3.73		NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
<ul style="list-style-type: none"> Proposed Signage Any proposed signage should allow the significant characteristics of the Exchange Building to be the dominant features and should be reversible (no new signage should be painted on unpainted surfaces). The design of any new interior signage should be contemporary and yet respectful to the architectural qualities of the place and there are no opportunities for permanent internally illuminated, neon and flashing signs. Consideration could be given to mobile free standing signage or temporary signage, depending on the building use; If the panelled timber and glazed booth partitions are reconstructed, opportunities may be available for temporary signage on the new glazing of the partitions, depending on the building use; 				NCA
6.3.7	HEATING & MECHANICAL AIR VENTILATION			
<ul style="list-style-type: none"> The existing gas heaters in the Exchange Hall (space H01) are acceptable in the short term. Opportunities are available for the removal of these heaters – see Section 6.4.16 for further details; 		3.60		NCA
<ul style="list-style-type: none"> The existing heat banks in the Call Room (space CR01) have a considerable impact on the original detailing and features of this space. Consideration could be given for the removal of this heating system and the introduction of hydronic heating. An acceptable alternative may be mobile gas heater stands that can be stored away when not in use. The use of mobile gas heaters should be checked against relevant Building, Health and Safety and other Codes; 				NCA
<ul style="list-style-type: none"> Opportunities are available for restoring the fireplace for use. Consideration needs to be given to the neighbouring new University of Ballarat Building on the north side – see Section 6.4.45 for further details; 		3.87		NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
6.3.8	OPENINGS IN SIGNIFICANT WALLS			NCA
•	Original interior doors should not be removed or relocated. The introduction of new doorways in significant walls should not be undertaken if an existing doorway can be adapted;			NCA
•	<p>There are opportunities in some spaces for the introduction of new openings. Although, the most ideal heritage outcome is to retain all significant walls. Where there may be opportunities to ensure the long term viability and sustainability of the place if additional functional spaces are provided, the possibly may be considered.</p> <p>No new openings should be considered on walls that lead into stairs, halls or corridors.</p> <p>For those spaces where new openings may be possible, the openings should be introduced as single or double door openings, or if absolutely necessary, larger openings. Whether a doorway or larger opening, the introduced opening should be no higher than door head height, allowing for the retention of significant wall ribs. This will provide an appreciation of the historic internal layout through evidence of some remaining upper original wall. For any load bearing walls, it is further recommended that advice from a suitably qualified heritage engineer be sought prior to the introduction of new openings, to ensure satisfactory structural stability.</p> <p>Those spaces where new openings may be considered in original/early walls fabric include the eastern booths (spaces B12-13), toilets and passage (spaces T02-03, 8a-b), and the first floor offices (spaces FF6-10);</p> <p>Given the highly intact nature of the trading booths off the Exchange Hall, the internal walls between the booths should be retained without any additional openings;</p>			NCA

Reference	<p>Recommendations & Short & Long Term Scope of Works & Maintenance</p>	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
<p>6.3.9</p> <ul style="list-style-type: none"> • 	<p>ARCHAEOLOGICAL ISSUES</p> <p>According to the 'Camp Street Precinct, Ballarat: Conservation Management Plan' (November 1999) prepared by Allom Lovell and Associates, the Mining Exchange building (including the Call Room) have moderate-high archaeological potential. The Report continues:</p> <p>"The current buildings are partially situated on the site of former stores, gaol, gaolkeeper's lodge and telegraph office associated with the Military Camp (c.1850s-1860s). The archaeological imprint of these timber buildings is considered to be moderate. The main exchange hall is considered an area of high archaeological potential ... This space potentially contains evidence relating to significant structures associated with the military camp in 1887-1889, and does not appear to have been significantly altered with the exception of internal partitioning, resurfacing and potentially service conduits. As a result, the sub-surface remains of these structures may be in good condition, when the extensive internal space provides an opportunity for open area excavation not available in other buildings along Lydiard Street. The lack of subsequent disturbance may have result in suitable conditions for the preservation of low imprint structures (eg. 1852-1856). The precise extent of sub-floor disturbance inside this building remain to be determined, and could form a useful goal for a sub-surface testing prior to systematic excavation."</p> <p>"Although the construction of the extant Victorian building has undoubtedly compromised the integrity of the remains associated with these earlier structures, it is probable that substantial archaeological deposits may be preserved between wall footings and service trenches, particularly in the open space of the main exchange room."</p> <p>The consequence of the above is that perhaps any excavation would need to be done in such a manner as to not damage potential archaeological items.</p>			<p>NCA</p>

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
6.4	MODERATE-HIGH INTEGRITY SPACES			
•	<i>Generally, a limited number of opportunities are available for refurbishment and/or reversal of "introduced" or "recent" details. Significant "original" or "early" fabric and features should be retained. Where specified, introduced fabric should be retained, as it represents a reconstruction of original fabric or now contributes to the integrity of the space.</i>			
6.4.1	SPACE FG02 (STORE)			
A.	RECOMMENDATIONS			NCA
•	This space was not accessible.			
6.4.2	SPACE FG03a (SHOP)			
A.	RECOMMENDATIONS			NCA
•	Retain original (1888) stained beaded edged timber lining board ceiling with scotia mould cornice;			NCA
•	Retain hard plaster walls;			NCA
•	Retain original (1888) moulded timber skirting boards (medium height);			NCA
•	Retain original (1888) timber floor boards;			NCA
•	Retain original (1888) moulded timber window and door architraves;			NCA
•	Retain reconstructed six panel timber exterior door;			NCA
•	Retain original (1888) window staff moulds;			NCA
•	Retain original (1888) timber framed round arched shopfront window;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
6.4.3	SPACE FG03b			
A.	RECOMMENDATIONS			
•	Retain original (1888) stained beaded edged timber lining board ceiling with scotia mould cornice;			NCA
•	Retain hard plaster walls;			NCA
•	Retain original (1888) moulded timber skirting boards (medium height);			NCA
•	Retain original (1888) timber floor boards with introduced carpet over;			NCA
•	Retain original (1888) moulded timber window and door architraves;			NCA
6.4.4	SPACE FG04a (SHOP)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged timber lining board ceiling;			NCA
•	Retain hard plaster walls;			NCA
•	Retain early (c.1900) timber framed wall screen with stop chamfered corners and patterned white glazing and blue and red coloured glass;			NCA
•	Retain original (1888) moulded timber skirtings (medium height);			NCA
•	Retain original (1888) timber floor boards;			NCA
•	Retain original (1888) round arched timber framed shopfront window;			NCA
•	Retain reconstructed six panel timber exterior door;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
6.4.5	SPACE FG04b (SHOP)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged timber lining board ceiling;			NCA
•	Retain hard plaster walls;			NCA
•	Retain early (c.1900) timber framed wall screen with stop chamfered corners and pattern white glazing and blue and red coloured glass;			NCA
•	Retain original (1888) moulded timber skirtings (medium height);			NCA
•	Retain original (1888) timber floor boards;			NCA
•	Retain original (1888) moulded timber window architraves;			NCA
•	Retain original (1888) timber framed double hung window with introduced security grill. Opportunities are available to remove the introduced security grill;			NCA
•	Retain original (1888) Chubb Security Vault – has the date 1888 on the front door;			NCA
•	Retain original (1888) small round arched door opening on north wall (east end) that provides access into the entrance lobby/stair hall (space FG05);			NCA
6.4.6	SPACE FG05 (ENTRANCE LOBBY/STAIR HALL)			
A.	RECOMMENDATIONS			
•	Retain original (1888) lath and plaster ceiling;	3.30		NCA
•	Retain original (1888) plaster ogee cornice;	3.30		NCA
•	Retain hard plaster walls;	3.31-3.32		NCA
•	Retain original (1888) rendered skirtings;	3.31-3.32		NCA
•	Retain original (1888) round arched timber framed double hung window with bluestone sill;	3.31		NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) six panelled timber door on east wall (east side of stairs);	3.35		NCA
•	Retain: early altered four panelled timber doors;	3.31-3.33		NCA
•	Retain original (1888) four panelled timber door (east wall);	3.35		NCA
•	Retain original (1888) timber framed round arched transom windows to door openings;	3.31-3.33		NCA
•	Retain original (1888) timber staircase with elaborate timber balusters;	3.36-3.37		NCA
•	Retain ceiling access hatch with moulded timber architraves;	3.30		NCA
•	Retain the original (1888) bluestone sill to the blocked up window (north wall);	3.32		NCA
•	Retain original bluestone flag floor under the carpet and asphalt surface (immediately east of the stairs);	3.35		NCA
B.1	SPACE FG05: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Investigate the causes of the condensation from the neighbouring café which appears to be causing minor falling damp on the north wall; upper north-east corner. Opportunities may be available to reconfigure some of the operations or services within the café to reduce the incidence of steam and/or warm air from entering the lobby;	3.31-3.32	✓	NCA
B.2	SPACE FG05: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Replace introduced aluminium framed and glazed doors and wall partitions (east and west walls) with more streamlined partitions with less intrusive framing and automatically opening doors;	3.30, 3.34		\$6,660
•	Investigate measures for removing introduced exposed service conduits on east wall and relocating in less conspicuous locations;			NCA
B.3	SPACE FG05: LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Reinstate timber panels to doors which have introduced glazed panels;	3.31, 3.33		\$600
•	Replace introduced frosted glazing in double hung window (north wall) with clear glazing;	3.31	✓	\$400

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Repair and restore partially altered transom window on south wall (east of stairs) and remove electrical box to a less obtrusive location;	3.35		\$700
B.4	SPACE FG05: LONG TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Reinstate and reconstruct blocked up original round arched window on north wall using neighbouring window as a guide;	3.32		\$1,270
•	Reinstate and reconstruct blocked up single door opening with round-arched transom on north wall using neighbouring door opening as a guide. Also reconstruct a panelled timber door for the door opening;	3.32		\$1,800
•	Reconstruct original bluestone flag floor. The original bluestone flags may be extant under the introduced asphalt surface			\$2,730
6.4.7	SPACES FF01-02 (OFFICES)			
A.	RECOMMENDATIONS			
•	Retain replastered original (1888) hard plaster and lath and plaster walls;	3.344		NCA
•	Retain original (1888) or reconstructed moulded timber skirtings;	3.45		NCA
•	Retain original (1888) timber floor boards;			NCA
•	Retain original (1888) timber framed double hung windows (east wall);	3.45		NCA
•	Retain original (1888) four panelled timber doors;			NCA
•	Retain original (1888) moulded timber window and door architraves;	3.45		NCA
•	Retain two original (1888) but altered skylights (see Exterior section for Short Term Essential Works);	3.44, 3.46		NCA
B.1	SPACES FF01-02: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	After checks and any repairs have been made to the exterior roof cladding and flashings, carefully clean upper north wall of Space FF02;			\$240

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Investigate measures for removing introduced exposed service conduits and relocating in less conspicuous locations;			NCA
B.2	SPACES FF01-02: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Consider replacing the introduced brass handles to panelled doors with more traditional brass knobs. At the very least, consider relocating the handles/knobs to the lower, original location (between the lower and middle panels);			NCA
•	Opportunities are available for reconstructing the removed wall between Spaces FF01 and FF02;	3.45		NCA
6.4.8	SPACES FF04-05 (OFFICES)			
A.	RECOMMENDATIONS			
•	Retain original (1888) ceiling ventilation opening with bolecion moulded frame and galvanised hood;	3.48		NCA
•	Retain replastered original (1888) hard plaster and lath and plaster walls;	3.50-3.52		NCA
•	Retain original (1888) and introduced moulded timber skirtings (medium height) (the introduced moulded timber skirtings appear to be a replica/reconstruction of the original skirting);	3.50		NCA
•	Retain original (1888) timber floor boards;			NCA
•	Retain original (1888) timber framed two paned double hung windows;	3.51-3.52		NCA
•	Retain original (1888) moulded timber window and door architraves;	3.50-3.51		NCA
•	Retain original (1888) four panelled timber doors with transom windows over east doors;	3.51		NCA
•	Retain altered original (1888) round-arched fireplace and projecting chimney breast with staff moulds (north wall);	3.49		NCA
B.1	SPACES FF04-05: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Reconstruct round-arched fireplace by reinstating a mantel of similar design as the mantel situated in the Call Room;	3.49		\$650

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Investigate measures for removing introduced exposed electrical conduits and relocating in less conspicuous locations;			NCA
B.2	SPACES FF04-05: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Consider replacing the introduced brass handles to panelled doors with more traditional brass knobs. At the very least, consider relocating the handles/knobs to the lower, original location (between the lower and middle panels);			NCA
•	Opportunities are available for reconstructing the removed wall between spaces FF04 and FF05;	3.50		NCA
6.4.9	SPACE FF06 (OFFICE)			
A.	RECOMMENDATIONS			
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain replastered original (1888) hard plaster and lath and plaster walls;	3.53		NCA
•	Retain original (1888) and introduced moulded timber skirtings (medium height) (the introduced moulded timber skirtings appear to be a replica/reconstruction of the original fabric);	3.53		NCA
•	Retain original (1888) timber floor boards;			NCA
•	Retain original (1888) timber framed two paned double hung window surmounted by a semi-circular window;	3.53		NCA
•	Retain original (1888) moulded timber window and door architraves;	3.53		NCA
•	Retain original (1888) four panelled timber doors with transom windows over east door;			NCA
B.1	SPACE FF06: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Investigate measures for removing introduced exposed electrical conduits and relocating in less conspicuous locations;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
B.2	SPACE FF06: LONG TERM DESIRABLE WORKS & MAINTENANCE Consider replacing the introduced brass handles to panelled doors with more traditional brass knobs. At the very least, consider relocating the handles/knobs to the lower, original location (between the lower and middle panels);			NCA
6.4.10	SPACE FF07 (OFFICE)			
A.	RECOMMENDATIONS			
•	Retain original (1888) ceiling ventilation opening with collection moulded frame and galvanised hood;			NCA
•	Retain replastered original (1888) hard plaster and lath and plaster walls;	3.54-3.55		NCA
•	Retain original (1888) and introduced moulded timber skirtings (medium height) (the introduced moulded timber skirtings appear to be a replica/reconstruction of the original fabric);			NCA
•	Retain original (1888) timber floor boards;			NCA
•	Retain original (1888) timber framed two paned double hung windows;	3.54-3.55		NCA
•	Retain original (1888) moulded timber window and door architraves;	3.54		NCA
•	Retain original (1888) four panelled timber doors (including transom window above east door);			NCA
B.1	SPACE FF07: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Investigate measures for removing introduced exposed electrical conduits and relocating in less conspicuous locations;			NCA
•	SPACE FF07: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Consider replacing the introduced brass handles to panelled doors with more traditional brass knobs. At the very least, consider relocating the handles/knobs to the lower, original location (between the lower and middle panels);			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
6.4.11	SPACE FF08 (OFFICE)			
A.	RECOMMENDATIONS			
•	This space was not accessible. It is assumed that this space is similar to Space FF07 and it is recommended that identical fabric to this space be retained;			NCA
6.4.12	SPACE FF09 (OFFICE)			
A.	RECOMMENDATIONS			
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain replastered original (1888) hard plaster and lath and plaster walls;	3.56		NCA
•	Retain original (1888) and introduced moulded timber skirtings (medium height) (the introduced moulded timber skirtings appear to be a replica/reconstruction of the original fabric);	3.56		NCA
•	Retain original (1888) timber floor boards;			NCA
•	Retain original (1888) timber framed two paned double hung window;	3.56		NCA
•	Retain original (1888) moulded timber window and door architraves;	3.56		NCA
•	Retain original (1888) four panelled timber doors with transom window above;	3.56		NCA
B.1	SPACE FF09: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Investigate measures for removing introduced exposed electrical conduits and relocating in less conspicuous locations;			NCA
B.2	SPACE FF09: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Consider replacing the introduced brass handles to panelled doors with more traditional brass knobs. At the very least, consider relocating the handles/knobs to the lower, original location (between the lower and middle panels);			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
6.4.13	SPACE FF10 (OFFICE)			
A.	RECOMMENDATIONS			
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain original (1888) skylight (see Exterior for Short Term Essential Works);			NCA
•	Retain replastered original (1888) lath and plaster walls;			NCA
•	Retain original (1888) and introduced moulded timber skirtings (medium height) (the introduced moulded timber skirtings appear to be a replica/reconstruction of the original fabric);			NCA
•	Retain original (1888) timber floor boards;			NCA
•	Retain original (1888) timber framed two paned double hung window;			NCA
•	Retain original (1888) moulded timber window and door architraves;			NCA
•	Retain original (1888) four panelled timber door with transom window above;			NCA
B.1	SPACE FF10: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Investigate measures for removing introduced exposed electrical conduits and relocating in less conspicuous locations;			NCA
B.2	SPACE FF10: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Consider replacing the introduced brass handles to panelled doors with more traditional brass knobs. At the very least, consider relocating the handles/knobs to the lower, original location (between the lower and middle panels);			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
6.4.14	SPACES FF11 (FOYER & PASSAGES)			
A.	RECOMMENDATIONS			
•	Retain replastered original (1888) lath and plaster walls;			NCA
•	Retain original (1888) and introduced moulded timber skirtings (medium height) (the introduced moulded timber skirtings appear to be a replica/reconstruction of the original fabric);			NCA
•	Retain original (1888) timber floor boards with introduced carpet over;			NCA
•	Retain original (1888) and introduced moulded timber door architraves (the introduced moulded timber architraves appear to be a replica/reconstruction of the original fabric);			NCA
•	Retain original (1888) four panelled timber doors with transom window above;			NCA
•	Retain the v jointed timber lined ceiling above the southern passage (immediately east of Space FF10) as evidence of previous construction;			NCA
B.1	SPACE FF11: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Remove introduced timber framed and glazed partition wall (east wall);			\$600
6.4.15	SPACES FF12 (STAIRS AND LANDING)			
A.	RECOMMENDATIONS			
•	Retain early v jointed timber lining boards;	3.40		NCA
•	Retain replastered original (1888) hard plaster south wall (middle landing area);			NCA
•	Retain original (1888) replastered lath and plaster wall (north wall, first floor landing);			NCA
•	Retain original (1888) face brick arches;			NCA
•	Retain original (1888) rendered mouldings to brick arches;	3.41		NCA
•	Retain original (1888) rendered piers supporting arches with stop chamfered corners and projecting cornices;	3.41		NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) timber staircase, including the introduced timber balustrade on east side;	3.38		NCA
•	Retain the reconstructed sway bellied cast iron balustrade to curved landing;	3.42		NCA
•	Retain original (1888) timber floor boards;			NCA
•	Monitor gaps between ceiling lining boards. These gaps appear to be part of the natural aging process of the timbers;	3.43		NCA
•	Retain notched ceiling member which may indicate the location of an early screen/partition that has subsequently been removed;	3.43		NCA
B.1	SPACE FF12: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Restore and reconstruct missing and damaged projecting cornices to pier arches;	3.41		\$850
6.4.16	SPACE H01 (MINING EXCHANGE HALL)			
A.	RECOMMENDATIONS			
•	Retain original (1888) exposed wrought iron truss system to curved roof;	3.57		NCA
•	Retain original (1888) face red brick arcaded wall construction with bluestone footings, stop chamfered edging to the arcade piers, projecting brick mouldings to the piers, brick voussoirs and rendered springing blocks, rendered keystones, cream brick stringcourses;	3.57		NCA
•	Retain original (1888) brick arched clerestorey lighting surmounted by cream brick cornice;	3.57		NCA
•	Retain original (1888) incised rendered signage panels with early signage of varying eras;	3.62, 3.70-3.73		NCA
•	Opportunities are available to retain the large introduced east arched opening or to reconstruct as two small booth arcades as shown in Figures 2.01-02;	3.62		NCA
•	Retain original (1888) projecting curved stair landing (west wall) with reconstructed sway bellied cast iron balustrade (the balustrade appears to be a reconstruction of the original fabric);	3.67		NCA
•	Retain original (1888) or reconstructed six panelled timber door (west wall, south end) with early signage above;	3.67		NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain early beaded edged timber lined ceiling with scotia mould (northern passage to call room);			NCA
•	Retain early moulded timber door architraves with skirting blocks (northern passage to call room);	3.61		NCA
•	Retain original (1888) three panelled timber double doors, north wall (northern passage to call room);	3.61, 3.80		NCA
•	Retain original (1888) beaded edged timber lined stained ceiling with timber quad cornice (rear eastern exit passage);	3.83		NCA
•	Retain introduced pieced-in timber door frame with early three panelled timber double doors having transom window above (rear eastern exit passage);	3.81		NCA
•	Retain original (1888) six panelled timber door, south wall (rear eastern exit passage);			NCA
•	Monitor evidence of movement of the brick arches to the booths as shown in the openings between the infill partitions and fanlights, and the brickwork;			NCA
•	Monitor evidence of some delamination of render in the two western-most signage panels on the south wall (possibly resulting from former roof leakages now resolved);			NCA
•	Monitor evidence of rising damp on concrete drainage sump (north-west corner), particularly after leaking water tap has been repaired;			NCA
•	Monitor rising damp on lower reaches of brickwork (northern passage to call room);			NCA
•	Retain evidence of early chain device across door opening into call room (northern passage to call room);	3.80		NCA
•	Monitor minor cracking in brick wall, east end (rear eastern exit passage);			NCA
•	Opportunities are available to retain the central subfloor channel with flat metal capping over, used for gas and electricity ducts for introduced heating. Also retain centrally located tubular steel gas heat stands and heaters in the short term if necessary (see 6.4.16 for further details);	3.65		NCA
•	Opportunities may be available to remove the introduced gas heating stands and heaters from their central locations. Consideration should be given to providing removal gas heating stands from this central location, and/or mobile gas heaters that can be brought in and located depending on the use/function within the space and the need. Mobile heaters could then be stored within the building or off site;	3.58	✓	NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Opportunities are available to retain the asphalt floor surface and provide temporary fabric coverings as required depending on the uses/functions of the space;	3.60		NCA
B.1	SPACE H01: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Investigate the replacement of the small pendant light fittings with large pendants. These larger light fittings could be a contemporary interpretation of the original gaslights as shown in Figure 2.01. Similar light fittings have been introduced into the Melbourne Exhibition Building and details of these lights might be obtained from the Exhibition Building files at Heritage Victoria. Consideration could also be given to back lighting along the cornice level above the clerestory windows with spot lights. Other discreet permanent or temporary lighting may also be considered throughout the roof truss system, depending on the nature of uses/functions of the space;	3.57		NCA
•	Investigate and repair leaking tap near water ponding on asphalt floor in north-west corner;	3.78	✓	\$260
•	Paint introduced replica of brickwork to capital of pier constructed in plywood in a colour similar to the original rendered capitals adjacent	3.72	✓	\$190
•	Remove introduced timber shelving over original (1888) round arched timber framed double hung window (west wall, north end) and clean and repair window opening (if necessary) and brick wall;	3.68	✓	\$580
•	Clean the water-stained timber lined ceiling (northern passage to call room);		✓	\$1040
•	The introduced concrete floor of the large rear (eastern space) (space B15) is possibly causing the rising damp and deterioration of the northern brick wall of the rear eastern exit passage. This space once had a timber floor that allowed for subfloor ventilation that kept the base of the brick wall dry. The introduced concrete slab has possibly greatly reduced the ventilation required. Physical evidence suggests that waterproofing plastic was laid under the concrete slab, for there appears to be no visual signs of dampness on the floor itself. However, there may not have been waterproofing membrane introduced between the concrete slab and the original brick wall. Engage a heritage engineer to determine the most appropriate course of action. This may involve the introduction of a membrane between the concrete slab and the brick wall, or the introduction of a damp proof course in the brick wall, or the removal of the slab;			NCA
•	Repair loose timber quad ceiling cornice, west end (rear eastern exit passage);	3.83	✓	\$210

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
B.2	SPACE H01: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Investigate measures for removing introduced exposed electrical conduits and relocating in less conspicuous locations;			NCA
•	If rising damp in the north-west corner of the passage to the call room increases, engage a heritage engineer to investigate subfloor air flow and provide measures for increasing air flow. Given the location of the dampness, this may require the introduction of a damp proof course or the introduction of subfloor electrical fans to increase airflow and subsequently reduce the build up of dampness;	3.79-3.80		NCA
•	Reconstruct timber panels to the introduced painted glazing in middle panels of call room doors (northern passage to call room);	3.88		\$650
•	After checks and any repairs have been made to the exterior roof cladding and flashings (and the removal of any debris in the box gutter), clean water stains from ceiling boards at the east end of the rear eastern exit passage;		✓	\$500
6.4.17	SPACE B01 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged stained timber lining board ceiling with scotia mould cornice;			NCA
•	Retain original (1888) ceiling ventilation opening with galvanised hood and timber bolection moulding;			NCA
•	Retain hard plaster walls;			NCA
•	Retain original (1888) plaster wall vent (north wall);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) timber wall partition stiles below fanlight;			NCA
•	Retain exposed painted brickwork and hard plaster lined wall nib (west wall), which indicates evidence of previous door opening with transom window and moulding above;			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
B.1	SPACE B01: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric over timber lined ceiling. If necessary, stain ceiling to match other existing intact stained timber lined ceilings;		✓	\$350
B.2	SPACE B01: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reconstruct panelled timber and glazed partition and panelled door (south end) using the City of Ballarat Drawing 1982-25 as a guide. Opportunities are available to establish removable partitions to provide for greater flexibility in the use/function;			\$4,500
•	Sand timber floor boards to remove staining and provide unfinished surface;		✓	\$160
6.4.18	SPACE B02 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain hard plaster walls;			NCA
•	Retain introduced moulded timber skirtings (low height) as these skirtings appear to reflect the original fabric;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) plaster wall vent (north wall);			NCA
•	Retain holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B02: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on timber lined ceiling;		✓	\$180
•	Reconstruct beaded edged timber lined ceiling (with timber scotia mould cornice), ceiling ventilation opening with bolection moulded frame and galvanised hood within. Existing original/early ceiling details in adjacent booths should be used as a guide to the reconstruction;	As 3.83, 3.74		\$2,300

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [√])	Cost Estimate (Works Only) NCA = no cost allowed
B.2	SPACE B02: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reconstruct panelled timber and glazed partition and panelled door (south end) using the City of Ballarat Drawing 1982-25 as a guide. Opportunities are available to establish removable partitions to provide for greater flexibility in the use/function;			\$4,500
•	Sand timber floor boards to remove staining and provide unfinished surface;		√	\$160
6.4.19	SPACE B03 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain hard plaster walls;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) horizontal member as part of the framing below fanlight;			NCA
•	Retain original (1888) plaster wall vent (north wall);			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B03: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on ceiling;		√	\$180
•	Reconstruct beaded edged timber lined ceiling (with timber scotia mould cornice), ceiling ventilation opening with bolection moulded frame and galvanised hood within. Existing original/early ceiling details in adjacent booths should be used as a guide to the reconstruction;			\$2,300
•	Repair hole in asphalt surface outside booth;			\$230
B.2	SPACE B03: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reconstruct panelled timber and glazed partition and panelled door (south end) using the City of Ballarat Drawing 1982-25 as a guide. Opportunities are available to establish removable partitions to provide for greater flexibility in the use/function;			\$4,500

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
6.4.20	SPACE B04 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain hard plaster walls;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) horizontal member as part of the framing below fanlight;	3.74		NCA
•	Retain original (1888) plaster wall vent (north wall);	3.74		NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B04: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on ceiling;		✓	\$180
•	Reconstruct beaded edged timber lined ceiling (with timber scotia mould cornice), ceiling ventilation opening with bolecion moulded frame and galvanised hood within. Existing original/early ceiling details in adjacent booths should be used as a guide to the reconstruction;			\$2,300
B.2	SPACE B04: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reconstruct panelled timber and glazed partition and panelled door (south end) using the City of Ballarat Drawing 1982-25 as a guide. Opportunities are available to establish removable partitions to provide for greater flexibility in the use/function;	3.74		\$4,500
6.4.21	SPACE B05 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain hard plaster walls;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) horizontal member as part of the framing below fanlight;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [√])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) plaster wall vent (north wall);			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B05: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on ceiling;		√	\$180
•	Reconstruct beaded edged timber lined ceiling (with timber scotia mould cornice), ceiling ventilation opening with bolecion; moulded frame and galvanised hood within. Existing original/early ceiling details in adjacent booths should be used as a guide to the reconstruction;			\$2,300
B.2	SPACE B05: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reconstruct panelled timber and glazed partition and panelled door (south end) using the City of Ballarat Drawing 1982-25 as a guide. Opportunities are available to establish removable partitions to provide for greater flexibility in the use/function;			\$4,500
6.4.22	SPACE B06 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain hard plaster walls;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) horizontal member as part of the framing below fanlight;			NCA
•	Retain original (1888) plaster wall vent (north wall);			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B06: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on ceiling;		√	\$180

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Reconstruct beaded timber lined ceiling (with timber scotia mould cornice), ceiling ventilation opening with bolecion moulded frame and galvanised hood within. Existing original/early ceiling details in adjacent booths should be used as a guide to the reconstruction;			\$2,300
B.2	SPACE B06: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reconstruct panelled timber and glazed partition and panelled door (south end) using the City of Ballarat Drawing 1982-25 as a guide. Opportunities are available to establish removable partitions to provide for greater flexibility in the use/function;			\$4,500
6.4.23	SPACE B07 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain hard plaster walls;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) plaster wall vent (north wall);			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B07: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on ceiling;		✓	\$180
•	Reconstruct beaded timber lined ceiling (with timber scotia mould cornice), ceiling ventilation opening with bolecion moulded frame and galvanised hood within. Existing original/early ceiling details in adjacent booths should be used as a guide to the reconstruction;			\$2,300
B.2	SPACE B07: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reconstruct panelled timber and glazed partition and panelled door (south end) using the City of Ballarat Drawing 1982-25 as a guide. Opportunities are available to establish removable partitions to provide for greater flexibility in the use/function;			\$4,500

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
6.4.24	SPACE B08 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain hard plaster walls;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) plaster wall vent (north wall);			NCA
•	Retain early moulded timber door architrave (east wall);			NCA
•	Retain early four panelled timber door (east wall);			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
•	Retain introduced Tobin ventilation tube in north-east corner;			NCA
•	Monitor horizontal hairline wall crack;			NCA
B.1	SPACE B08: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on ceiling;		✓	\$180
•	Reconstruct beaded edged timber lined ceiling (with timber scotia mould cornice), ceiling ventilation opening with bolection moulded frame and galvanised hood within. Existing original/early ceiling details in adjacent booths should be used as a guide to the reconstruction;			\$2,300
•	Repair holes in asphalt floor surface of hall abutting booth;			\$230
B.2	SPACE B08: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reconstruct panelled timber and glazed partition and panelled door (south end) using the City of Ballarat Drawing 1982-25 as a guide. Opportunities are available to establish removable partitions to provide for greater flexibility in the use/function;			\$4,500
6.4.25	SPACE B09 (BOOTH)			

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling with scotia mould cornice;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls;			NCA
•	Retain introduced timber framed panelled timber and glazed partition wall as it appears to be a reconstruction of the original fabric;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain introduced floor ventilation opening (south-east corner);			NCA
•	Retain introduced Tobin ventilation tube (north-east corner);			NCA
B.1	SPACE B09: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Repair hole in plaster wall (west wall);		✓	\$240
B.2	SPACE B09: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reconstruct six panelled timber door to timber and glazed partition wall (south end) using City of Ballarat Drawing 1982-25 as a guide;			\$4,500
6.4.26	SPACE B10 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling with scotia mould cornice;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls;			NCA
•	Retain timber framed panelled timber and glazed partition wall as it appears to be a reconstruction of the original fabric;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain introduced Tobin ventilation tube (north-east corner);			NCA
B.	SPACE B10: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reconstruct six panelled timber door to timber and glazed partition wall (south end) using City of Ballarat Drawing 1982-25 as a guide;			\$4,500
•	Sand timber floor boards to reveal an unfinished surface;		✓	\$160
6.4.27	SPACE B11 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling with scotia mould cornice;			NCA
•	Retain original (1888) ceiling ventilation opening with bolecion moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (the east wall is dog-legged);			NCA
•	Retain introduced timber framed panelled timber and glazed partition wall as it appears to be a reconstruction of the original fabric;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) four panelled timber door with original door furniture (north wall);			NCA
B.1	SPACE B11: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Repair holes in walls and reveals;		✓	\$300
B.2	SPACE B11: LONG TERM DESIRABLE WORKS & MAINTENANCE			

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Reconstruct six panelled timber door to timber and glazed partition wall (south end) using City of Ballarat Drawing 1982-25 as a guide;		✓	\$4,500
•	Sand timber floor boards to reveal an unfinished surface;			\$160
6.4.28	SPACE B12 (STORE)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling with scotia mould cornice;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame;			NCA
•	Retain hard plaster walls;			NCA
•	Retain original (1888) moulded timber skirtings (low height);			NCA
•	Retain early timber floor boards;			NCA
•	Retain original (1888) window opening with early timber framed two paned double hung window (east wall);			NCA
•	Retain original (1888) moulded timber window and door architraves (with original skirting blocks to door architraves);			NCA
•	Retain original (1888) six panelled timber door with original round-arched fanlight;			NCA
•	Retain original (1888) plaster wall vent (east wall);			NCA
B.1	SPACE B12: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced linoleum over timber floor boards;			\$300
•	Investigate measures for removing introduced exposed service conduits and relocating in less conspicuous locations;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Unblock ceiling vent by removing introduced fan and surrounds to reveal original galvanised hood. Alternatively, reconstruct galvanised hood after unblocking vent;			\$400
B.2	SPACE B12: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Replace door furniture with brass knobs consistent with the style of the door and in the traditional side, lower location (between the lower and middle panels);			\$900
•	Reinstate early door opening on south wall to Space B13 and reconstruct panelled timber door;			\$1,200
6.4.29	SPACE B13 (KITCHEN)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling with scotia mould cornice;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (north, south and east walls);			NCA
•	Retain original (1888) timber framed panelled timber and glazed partition wall (west side) with six panelled timber door;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight (west side);			NCA
•	Retain original (1888) moulded timber skirtings (low height);			NCA
•	Retain early timber floor boards;			NCA
•	Retain original (1888) window opening with early timber framed two paned double hung window (east wall);			NCA
•	Retain original (1888) moulded timber window and door architraves (with original skirting blocks to door architraves);			NCA
•	Retain original (1888) plaster wall vent (east wall);			NCA
•	Monitor hairline wall cracks on east wall;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
B.1	SPACE B13: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced linoleum from timber floor boards;		✓	\$300
•	Investigate measures for removing introduced exposed service conduits and relocating in less conspicuous locations;			NCA
B.2	SPACE B13: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reinstate early four panelled timber door (north wall);			\$1,100
6.4.30	SPACE B14 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling with scotia mould cornice;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (north, south and east walls);			NCA
•	Retain original (1888) timber framed panelled timber and glazed partition wall (west side) with six panelled timber door;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight (west side);			NCA
•	Retain original (1888) moulded timber skirtings (low height);			NCA
•	Retain original (1888) window opening with early timber framed two paned double hung window (east wall);			NCA
•	Retain original (1888) moulded timber window and door architraves (with original skirting blocks to door architraves);			NCA
•	Retain original (1888) plaster wall vent (east wall);			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
B.1	SPACE B14: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Repair hole in floor (north-west corner);		✓	\$240
•	Remove temporary board over glazed partition;		✓	\$60
B.2	SPACE B14: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove linoleum covering and expose timber floor boards;		✓	\$300
•	Investigate measures for removing introduced exposed service conduits and relocating in less conspicuous locations;			NCA
6.4.31	SPACE B16 (ROOM A)			
A.	RECOMMENDATIONS			
•	This space was not accessible. Retain all original and early fabric.			NCA
6.4.32	SPACE B17 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling;			NCA
•	Retain original (1888) ceiling ventilation opening;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain original (1888) plaster wall vent;			NCA
•	Retain early moulded timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
B.1	SPACE B17: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on ceiling and if necessary repair timber lined ceiling;		✓	\$300
•	Reconstruct galvanised hood to ceiling ventilation opening;		✓	\$200
•	Clean water staining on floor, given that it does not appear to be an ongoing problem;			\$120
B.2	SPACE B17: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Reconstruct bolection moulded frame to ceiling vent;			\$100
•	Reconstruct scotia mould cornice to timber lined ceiling;			\$200
•	Remove paint marks on stained ceiling;		✓	\$150
B.3	SPACE B17: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reconstruct panelled timber and glazed partition and panelled door (north end) using the City of Ballarat Drawing 1982-25 as a guide. Opportunities are available to establish removable partitions to provide for greater flexibility in the use/function;			\$4,500
6.4.33	SPACE B18 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain original (1888) plaster wall vent;			NCA
•	Retain early moulded timber skirtings (low height);			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) timber wall partition stiles below fanlight (vertical members only);			NCA
•	Opportunities are available to retain the introduced pendant light;			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B18: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced tiled black and white linoleum floor and expose timber floor boards;		✓	\$220
•	Clean water staining from timber lined ceiling given that the falling damp problem (possibly caused by previous leaking roof) appears to have been resolved;		✓	\$160
B.2	SPACE B18: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Reconstruct scotia mould cornice to timber lined ceiling;			\$200
B.3	SPACE B18: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reconstruct panelled timber and glazed partition and panelled door (north end) using the City of Ballarat Drawing 1982-25 as a guide. Opportunities are available to establish removable partitions to provide for greater flexibility in the use/function;			\$4,600
6.4.34	SPACE B19 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain original (1888) plaster wall vent;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain early moulded timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) timber wall partition stiles below fanlight (vertical members only);			NCA
•	Opportunities are available to retain the introduced pendant light;			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B19: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Reconstruct scotia mould cornice to timber lined ceiling;			\$200
•	Remove paint marks on stained ceiling;		✓	\$150
B.2	SPACE B19: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reconstruct panelled timber and glazed partition and panelled door (north end) using the City of Ballarat Drawing 1982-25 as a guide. Opportunities are available to establish removable partitions to provide for greater flexibility in the use/function;			\$4,500
6.4.35	SPACE B20 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls) with introduced fabric on upper reaches of walls;			NCA
•	Retain original (1888) plaster wall vent;			NCA
•	Retain early moulded timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) timber wall partition stiles below fanlight (vertical members only);			NCA
•	Opportunities are available to retain the introduced pendant light;			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B20: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Reconstruct scotia mould cornice to timber lined ceiling;			\$200
B.2	SPACE B20: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reconstruct panelled timber and glazed partition and panelled door (north end) using the City of Ballarat Drawing 1982-25 as a guide. Opportunities are available to establish removable partitions to provide for greater flexibility in the use/function;			\$4,500
6.4.36	SPACE B21 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain possible original (1888) beaded edged and stained timber lining board ceiling above;			NCA
•	Retain possible original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain original (1888) plaster wall vent;			NCA
•	Retain early timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) timber wall partition stiles below fanlight (vertical members only);			NCA
•	Opportunities are available to retain the introduced pendant light;			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
B.1	SPACE B21: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on ceiling and upper walls;		✓	\$500
•	Reconstruct beaded edged timber lined ceiling and scotia mould cornice if no longer extant above introduced fabric;			\$500
•	Reconstruct round ceiling ventilation opening with bolection moulded frame and galvanised hood within if no longer extant above introduced fabric;			\$1,800
B.2	SPACE B21: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reconstruct panelled timber and glazed partition and panelled door (north end) using the City of Ballarat Drawing 1982-25 as a guide. Opportunities are available to establish removable partitions to provide for greater flexibility in the use/function;			\$4,500
6.4.37	SPACE B22 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain original (1888) plaster wall vent;			NCA
•	Retain early moulded timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) timber wall partition stiles below fanlight (vertical members only);			NCA
•	Opportunities are available to retain the introduced pendant light;			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
B.1	SPACE B22: SHORT TERM ESSENTIAL WORKS & MAINTENANCE Remove introduced fabric on ceiling;		✓	\$180
B.2	SPACE B22: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE Reconstruct scotia mould cornice to timber lined ceiling;			\$200
B.3	SPACE B22: LONG TERM DESIRABLE WORKS & MAINTENANCE Reconstruct panelled timber and glazed partition and panelled door (north end) using the City of Ballarat Drawing 1982-25 as a guide. Opportunities are available to establish removable partitions to provide for greater flexibility in the use/function;			\$4,500
6.4.38	SPACE 23 (BOOTH)			
A.	RECOMMENDATIONS			NCA
•	Retain original (1888) beaded edged and stained timber lining board ceiling;			NCA
•	Retain possible original (1888) ceiling ventilation opening with bolecion moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain original (1888) plaster wall vent;			NCA
•	Retain early moulded timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) timber wall partition stiles below fanlight (vertical members only);			NCA
•	Opportunities are available to retain the introduced pendant light;			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
B.1	SPACE B23: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Removed introduced fabric on ceiling and if necessary repair timber lined ceiling;			\$300
•	Reconstruct round ceiling ventilation opening with bolection moulded frame and galvanised hood within if no longer extant above introduced fabric;			\$2,300
B.2	SPACE B23: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Reconstruct scotia mould cornice to timber lined ceiling;			\$200
•	Remove paint from timber lined ceiling and stain to match other existing intact stained timber lined ceilings;		✓	\$150
B.3	SPACE B23: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reconstruct panelled timber and glazed partition and panelled door (north end) using the City of Ballarat Drawing 1982-25 as a guide. Opportunities are available to establish removable partitions to provide for greater flexibility in the use/function;			\$4,500
6.4.39	SPACE B24 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain original (1888) plaster wall vent;			NCA
•	Retain early moulded timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) timber wall partition stiles below fanlight (vertical members only);			NCA
•	Opportunities are available to retain the introduced pendant light;			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B24: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on ceiling;		✓	\$180
B.1	SPACE B24: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Reconstruct scotia mould cornice to timber lined ceiling;			\$200
•	Remove paint from timber lined ceiling and stain to match other existing intact stained timber lined ceilings;		✓	\$150
B.3	SPACE B24: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reconstruct panelled timber and glazed partition and panelled door (north end) using the City of Ballarat Drawing 1982-25 as a guide. Opportunities are available to establish removable partitions to provide for greater flexibility in the use/function;			\$4,500
6.4.40	SPACE B25 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain original (1888) plaster wall vent;			NCA
•	Retain early moulded timber skirtings (low height);			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [√])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) timber wall partition stile below fanlight (vertical east member only);			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B25: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on ceiling;		√	\$180
B.2	SPACE B25: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Reconstruct scotia mould cornice to timber lined ceiling;			\$200
•	Remove paint from timber lined ceiling and stain to match other existing intact stained timber lined ceilings;		√	\$150
B.3	SPACE B25: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reconstruct panelled timber and glazed partition and panelled door (north end) using the City of Ballarat Drawing 1982-25 as a guide. Opportunities are available to establish removable partitions to provide for greater flexibility in the use/function;			\$4,500
6.4.41	SPACE B26 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling;			NCA
•	Retain possible original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain original (1888) plaster wall vent;			NCA
•	Retain early moulded timber skirtings (low height);			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) timber wall partition stiles below fanlight (vertical members only);			NCA
•	Opportunities are available to retain the introduced pendant light;			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B26: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fabric on ceiling and walls;		✓	\$500
•	Reconstruct round ceiling ventilation opening with bolection moulded frame and galvanised hood within if no longer extant above introduced fabric;			\$1,800
B.2	SPACE B26: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reconstruct panelled timber and glazed partition and panelled door (north end) using the City of Ballarat Drawing 1982-25 as a guide. Opportunities are available to establish removable partitions to provide for greater flexibility in the use/function;			\$4,500
6.4.42	SPACE B27 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain original (1888) plaster wall vent;			NCA
•	Retain early moulded timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) timber wall partition stiles below fanlight (vertical members only);			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B27: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Restore and repair damaged the timber ceiling boards which are stressed and falling away from ceiling;		✓	\$700
B.2	SPACE B27: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Reconstruct scotia mould cornice to timber lined ceiling;			\$200
B.3	SPACE B27: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reconstruct panelled timber and glazed partition and panelled door (north end) using the City of Ballarat Drawing 1982-25 as a guide. Opportunities are available to establish removable partitions to provide for greater flexibility in the use/function;			\$4,500
6.4.43	SPACE B28 (BOOTH)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged and stained timber lining board ceiling;			NCA
•	Retain original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain original (1888) plaster wall vent;			NCA
•	Retain early moulded timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Opportunities are available to retain the introduced pendant light;			NCA
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
B.1	SPACE B28: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Restore and repair ceiling boards that are loose and falling away;		✓	\$700
•	Reinstate dislodged galvanised hood to ceiling ventilation opening;		✓	\$150
B.2	SPACE B28: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Reconstruct scotia mould cornice to timber lined ceiling;			\$200
•	Remove introduced stenciled and varnished finish to timber floor boards. Opportunities are available to sand floor to provide an unfinished surface;		✓	\$300
B.3	SPACE B28: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reconstruct panelled timber and glazed partition and panelled door (north end) using the City of Ballarat Drawing 1982-25 as a guide. Opportunities are available to establish removable partitions to provide for greater flexibility in the use/function;			\$4,500
6.4.44	SPACE B29 (BOOTH)			
A.	RECOMMENDATIONS			NCA
•	Retain original (1888) beaded edged and stained timber lining board ceiling;			NCA
•	Retain possible original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;			NCA
•	Retain hard plaster walls (east, west and south walls);			NCA
•	Retain early moulded timber skirtings (low height);			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
•	Retain original (1888) timber wall partition stiles below fanlight (vertical members only);			NCA
•	Opportunities are available to retain the introduced pendant light;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain introduced holes in skirtings for subfloor ventilation;			NCA
B.1	SPACE B29: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Restore and repair ceiling boards that are loose and falling away;		✓	\$700
B.2	SPACE B29: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Reconstruct scotia mould cornice;			\$200
B.3	SPACE B29: LONG TERM DESIRABLE WORKS & MAINTENANCE			
•	Reconstruct panelled timber and glazed partition and panelled door (north end) using the City of Ballarat Drawing 1982-25 as a guide. Opportunities are available to establish removable partitions to provide for greater flexibility in the use/function;			\$4,500
6.4.45	SPACE CR01 (CALL ROOM)			
A.	RECOMMENDATIONS			
•	Retain original (1888) coved, beaded edged timber lined ceiling with ogee mould timber cornice;	3.84-3.86		NCA
•	Retain original (1888) exposed turned timber Queen Post roof trusses;	3.85-3.86		NCA
•	Retain original (1888) elongated lantern light;	3.85-3.86		NCA
•	Retain hard plaster walls;	3.84		NCA
•	Retain introduced moulded timber skirtings (high height) given that they reflect the original skirting design;	3.84		NCA
•	Retain timber boarded floor surface;	3.84		NCA
•	Retain original (1888) timber framed hopper sash lantern windows;	3.85		NCA
•	Retain original (1888) moulded timber door architraves;	3.88, 3.90		NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) three panelled timber double doors (south wall);	3.88		NCA
•	Retain early panelled timber doors (south and west walls);	3.90		NCA
•	Retain round-arched marble fireplace (north wall);	3.87		NCA
•	Retain marble mantel;	3.87		NCA
•	Retain original (1888) basalt hearth;	3.87		NCA
•	Retain original (1888) plaster wall vents;			NCA
•	Opportunities are available to replace the introduced fluorescent light fittings with more appropriate lights. A contemporary interpretation of the original gas lights that once lit the Call Room (see Figure 2.03) could be considered. Additional discreet lighting could also be attached to the timber roof trusses (attached in a reversible manner);	3.84		NCA
B.1	SPACE CR01: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Repair and reconstruct broken plaster wall vents;		✓	\$460
•	Repair and reconstruct door frame to double doors (south wall) by re-attaching loose damaged timber door strip (now resting on mantel). Relocate deadbolt to more traditional location between the lower and middle door panels;	3.89	✓	\$600
B.2	SPACE CR01: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	There is evidence of some movement in the floor boards. The subfloor structure should be assessed by a heritage engineer.		✓	NCA
•	Given the new abutting University of Ballarat building to the north of the call room and its higher wall plane, a heritage engineer should assess whether there is a need for an additional flue to the chimney if it is to become operational;		✓	NCA
•	Remove introduced heat banks and consider hydronic heating or mobile gas heating units as more appropriate alternatives;			\$500

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	After checks and any repairs have been made to the exterior roof flashings and box gutter (including removal of debris), clean stained east wall and ceiling lining due to previous [?] falling damp;		✓	\$3,250
•	Remove introduced sink and plumbing on west wall;			\$150
6.4.46	SPACE T02 (OFFICE)			
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged timber lining board ceiling;			NCA
•	Retain hard plaster walls;			NCA
•	Retain original (1888) moulded timber skirtings (low height);			NCA
•	Retain original (1888) moulded timber window and door architraves;			NCA
•	Retain early timber framed two paned double hung window sheeted over;			NCA
•	Retain original (1888) four panelled timber door;			NCA
B.1	SPACE T02: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove sheeting from double hung window and restore and repair;		✓	\$510
•	Remove introduced black plastic covering on ceiling and restore and repair;			\$750
•	Engage a specialist to investigate the cause of rising damp and the need for a damp proof course in west wall to deterioration;			NCA
B.2	SPACE T02: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	After checks and any repairs have been made to the exterior roof flashings and box gutter (including removal of debris), repair and restore deteriorated timber lining board ceiling;			\$1,500
6.4.47	SPACE T03 (PASSAGE)			

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
A.	RECOMMENDATIONS			
•	Retain original (1888) beaded edged timber lining board ceiling (no cornices);	3.91		NCA
•	Retain original (1888) painted brick walls;	3.91-3.92		NCA
•	Retain moulded plaster skirtings;			NCA
•	Retain original (1888) six panelled timber doors (south and west walls);	3.91		NCA
•	Retain original (1888) four panelled timber doors (north wall and doorway into office, space T02);			NCA
B.1	SPACE T03: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Engage a specialist to investigate the need for a damp proof course in lower reaches of walls to reduce deterioration caused by rising damp;			NCA
•	Repair and restore damaged brick corner of wall caused by electrical conduit installation. Investigate measures for removing introduced exposed service conduits on east wall and relocating in less conspicuous locations;	3.93		\$200
B.2	SPACE T03: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced fuse box and relocate to a more discreet position;			\$250
6.5	MODERATE INTEGRITY SPACES			
•	Generally, some opportunities are available for the refurbishment and/or reversal of "introduced" or "recent" details. Significant "original" or "early" fabric and features should be retained. Introduced fabric should be retained where specified.			
6.5.1	SPACE B08a (LADIES' TOILETS)			
A.	RECOMMENDATIONS			
•	Retain introduced stained beaded edged timber lining board ceiling;	3.75		NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain early ceiling ventilation opening with introduced galvanised hood and bolection moulded frame;	3.75		NCA
•	Retain replastered original (1888) hard plaster walls (north, east and west);	3.77		NCA
•	Retain introduced timber framed panelled timber and glazed partition wall with six panelled timber door;	3.76		NCA
•	Retain introduced timber floor boards;			NCA
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;	3.76		NCA
B.1	SPACE B08a: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced linoleum and exposed timber floor boards;		✓	\$300
•	Remove introduced electrical fan in galvanised hood of ceiling vent;	3.75	✓	\$400
B.2	SPACE B08a: LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Restore door opening and panelled timber door on west wall;			\$1,800
6.5.2	SPACE B08b (MEN'S TOILETS)			
A.	RECOMMENDATIONS			
•	Retain introduced stained beaded edged timber lining board ceiling with scotia mould cornice;			NCA
•	Retain early ceiling ventilation opening with stained bolection moulded frame and galvanised hood;			NCA
•	Retain replastered original (1888) hard plaster walls (north, east and west);			NCA
•	Retain introduced timber framed panelled timber and glazed partition wall with six panelled timber door;			NCA
•	Retain introduced timber floor boards;			NCA

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [✓])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain original (1888) timber framed round-arched two paned hopper sash fanlight;			NCA
B.	SPACE B08b: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced linoleum and exposed timber floor boards;		✓	\$300
•	Remove introduced electrical fan in galvanised hood of ceiling vent;		✓	\$400
6.6	LOW INTEGRITY SPACES			
•	<i>Many opportunities are available for refurbishment and/or reversal of "introduced" or "recent" details. Significant "original" or "early" fabric and features (including original spatial form) should be retained. Introduced fabric should be retained where specified.</i>			
6.6.1	SPACE FF03 (KITCHEN & TOILETS)			
A.	RECOMMENDATIONS			
•	Retain original (1888) hard plaster north wall;			NCA
•	Retain original (1888) lath and plaster south and west walls;			NCA
•	Retain original (1888) timber floor boards with introduced linoleum over;			NCA
•	Retain original (1888) timber framed double hung window (east wall);	3.47		NCA
B.1	SPACE FF03: SHORT TERM DESIRABLE/LONG TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced lowered plaster sheet ceiling and expose and restore original ceiling if extant. Alternatively, restore and reconstruct original ceiling;	3.47		\$1,300
6.6.2	SPACE B15 (STORE)			
A.	RECOMMENDATIONS			

Reference	Recommendations & Short & Long Term Scope of Works & Maintenance	Photos	Recommended Heritage Victoria Permit Exemption (Denoted by a tick [V])	Cost Estimate (Works Only) NCA = no cost allowed
•	Retain introduced beaded edged and stained timber lining board ceiling;			NCA
•	Retain hard plaster walls (north and south walls);			NCA
B.1	SPACE B15: SHORT TERM ESSENTIAL WORKS & MAINTENANCE			
•	Remove introduced sheeted partition wall (west wall) with large central door opening and flanking fixed glazed windows. Opportunities are available to: 1. establish a large open space within the arch or; 2. reconstruct two original booth arches;	3.62		\$600 (Option 1 only)
•	The introduced concrete slab floor requires investigation by a heritage engineer, given the evidence of rising damp on the brick work of the rear eastern exit passage (see Section 6.4.16 for further details);			NCA
6.6.3	SPACES B30-31 (FORMER BOOTHS, NOW ELECTRICAL SUBSTATION)			
A.	RECOMMENDATIONS			
•	Retain introduced timber framed panelled timber and glazed partition wall (north side) with six panelled timber door;			NCA
6.6.4	SPACE T01 (FORMER MEN'S TOILETS)			
A.	RECOMMENDATIONS			
•	Retain original (1888) painted brick south and east walls;	3.96		NCA
•	Retain early painted brick west wall;			NCA
•	Retain original (1888) four panelled timber door with timber framed transom window above (south wall);	3.96		NCA
•	Retain original (1888) brass door furniture to panelled door;	3.96		NCA

B.1 SPACE T01: PROVISION OF TOILET FACILITIES

Building Classification

The building Classification has been assumed as Class 9b.

Building Use

The current Australian Building Code was consulted as to the various uses which may be possible for the space. Such uses as Theatre, Art Gallery, Exhibition Area and Museum, Public Hall, Function Room and restaurant were scoped for the various health and amenity requirements. The greatest number of facilities was selected to fulfil the above uses.

Building Floor Area

For the purposes of determining the number of patrons so as to determine the number of facilities required, the Floor area of the Call (Gold) Room was estimated at approximately 200 square metres. The area of the main Mining Exchange Hall was estimated on the central floor area only. The booths were not seen as part of public usable floor space. The floor area of the Mining Exchange was estimated at approximately 400 square metres. This gives a total of 600 square metres.

Number of Users

Assuming that the patronage at a function would be balanced between the sexes, the facilities were calculated on 300 male and 300 female patrons.

Number of facilities Required

The above maximum number of patrons gives the following requirements

Male	4 urinals	3 hand basins
Female	3 closets	3 hand basins

A unisex facility with access for the disabled is also required based on the above figures. This has been confirmed by the City of Ballarat Building Surveyor's Office.

Current Facilities

The current facilities are provided in reconstructed booths off the main hall. The Male facilities consist of a urinal in a stall, a closet and one hand basin. The Female facilities consist of two closets and a hand basin. These would appear to be in an area which earlier held toilet facilities as there are small windows opening from the space onto the land that forms the west boundary of the site in this location. There is no facility for access by the disabled.

There is also the original toilet block at the north west corner of the Call Room. This was originally a male only facility open to the air. It consisted of a skillion roofed shed off a concrete paved yard. There was a length of open air urinal and three closets with brick walls dividing them. The northern most wall of the last closet has been demolished at some time in the past and the south wall of a new building of the University of Ballarat now forms the northern boundary of the site at this corner. The facilities are derelict in condition and unusable.

Proposed New Facilities

It is proposed to remove the existing male toilets and return this booth into an enclosed space. It may be useful to retain the hand basin at this time. This should be discussed.

It is proposed to restructure the existing female toilets into the male closet area – three closets plus one hand basin. There is an existing side door linking this space to the western booth. It is proposed to turn the adjacent booth into the urinal area and provide two of the three hand basins required in this space. This will require the construction of a new timber wall in the opening to the main exchange area.

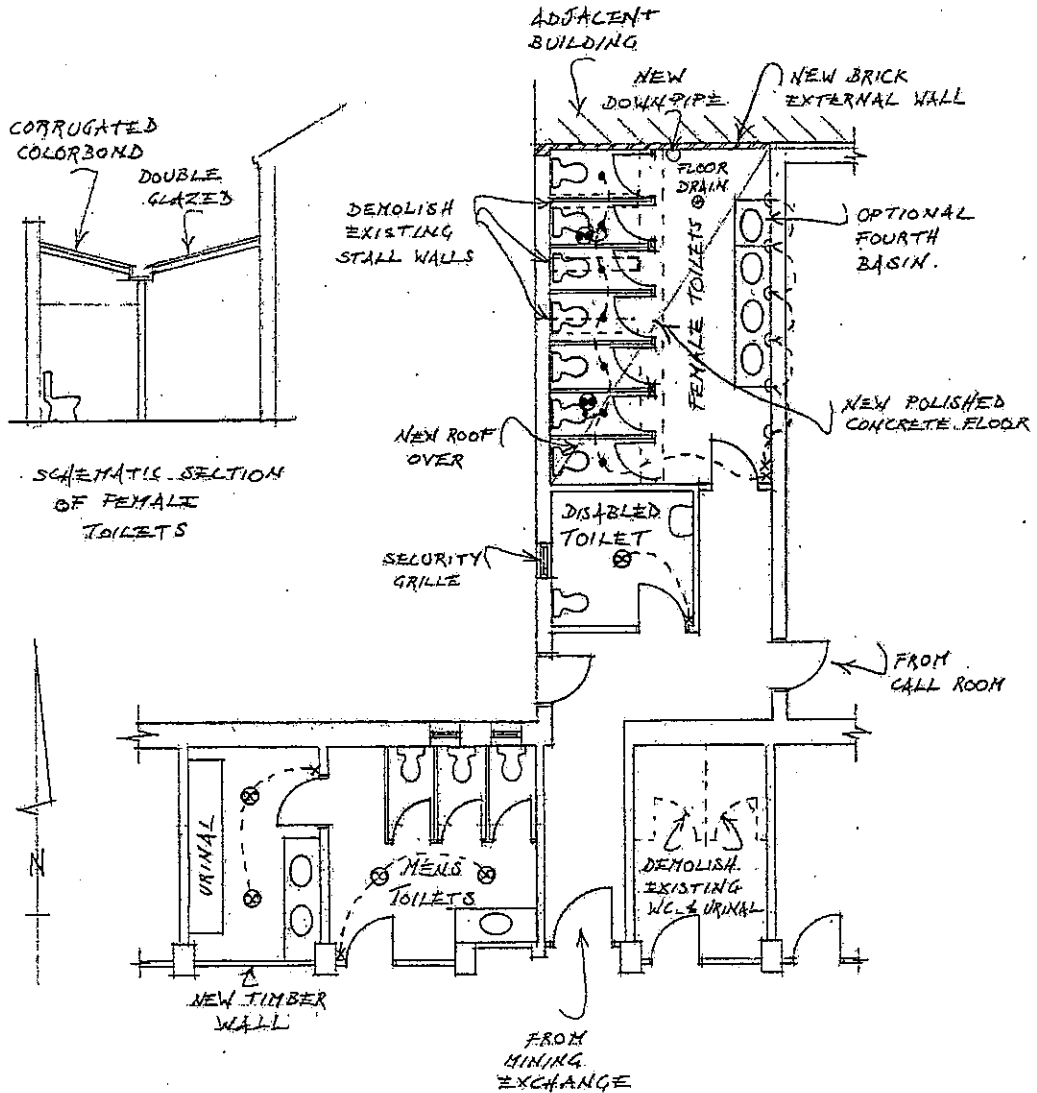
It is proposed to utilise an existing room at the intersection of the hall from the Call Room and the Exchange Hall as a facility with access for the disabled. This is on grade with the main exchange floor and is of a good size and layout for this purpose. This room would require new floor coverings, a security grille to the window, an exhaust fan, new light fittings, new closet and hand basin.

The former external toilet area would be totally refurbished to provide the female toilets. This area would require the construction of a new north wall and a small section of the west wall at the northwest corner, a new treatment to the floor, re-roofing and the provision of cubicles, pans, hand basins and taps, lighting and heating. As this has

Ballarat Mining Exchange Conservation Management Plan, March 2004

the potential to become a dark and unattractive area it is proposed to retain the shed like appearance of the building and introduce a glass roof or a number of clear glazed skylights into this area. This could produce an attractive and useful space accessible from both major areas in the building. A new polished concrete floor with floor drain, standard toilet partitions (7 No.), three or four hand basins, hand towels/dryers, some form of heating and lighting would also be required. Refer to attached schematic drawing for further details.

TOTAL ESTIMATED COST FOR PROVISION OF TOILET FACILITIES:\$99,000



ELECTRICAL LEGEND

- DOWNLIGHT
- ∩ WALL MOUNTED LIGHT
- ⊗ FAN LIGHT
- ⊙ FAN
- X SWITCH

SKETCH DESIGNS FOR PROPOSED TOILET FACILITIES

TO FORMER BALLARAT MINING EXCHANGE
12 LYDIARD ST. NTH.

NOT TO SCALE

WENDY JACOBS ARCHITECT
PO BOX 193
BALLARAT 3353
PH: 5382 9182
REGISTERED ARCHITECT 3067
ISSUED 29/07/2003

6.7 COST PLAN

Budget Estimates: Notes for Guidance Introduction

The whole of the works indicated in the *Conservation Management Plan* are classified and have been costed under *Interior Works* and *Exterior Works* in four categories of priority:

1. SHORT TERM ESSENTIAL.
2. SHORT TERM DESIRABLE/LONG TERM ESSENTIAL
3. LONG TERM ESSENTIAL
4. LONG TERM DESIRABLE

Indicative or Preliminary Nature of Estimates

The estimates for work in this cost plan are indicative of the likely cost of the work under each heading in the *Conservation Management Plan*. This cost plan and its estimates are based on very preliminary information. The estimates are based upon the outline information provided and described in the *Conservation Management Plan*. These costs should be taken as a guide to the final cost of the works, but they are likely to be subject to change depending on the more detailed investigations and decisions made during later site investigations or site work.

Terms

Where the terms, *monitor*, *retain* or *opportunities are available* are used to describe various parts of the building and its interior, it is assumed that little or no work is required to the noted item, space or building element. Therefore, no costs have been identified and the expression *No Costs Allowed* (NCA) are used in the cost plan.

Where the *Conservation Management Plan* notes that further investigation or consideration is needed, or a specialist or consultant should be appointed then it has been assumed that due to lack of information at this time that no costs are involved at this stage and any of these costs will be considered and budgeted at the time of the investigations and appointments of any consultants. Similarly, where the phrase, 'Opportunities are available ...' then due to lack of detailed information, no costs have been included in this cost plan. In all these case the cost plan indicates that no costs have been allowed and "NCA" has been inserted in the cost plan.

Nature of the Work

The type of work priced in this project in these preliminary estimates contains a great deal of work in and around the existing significant heritage building. The nature of such work is difficult to predict in terms of final content, extent and specification. Whilst every attempt has been made to foresee any potential problems and construction difficulties, pricing this work at this stage may be subject to substantial variation by the time that the work is actually carried out. By its nature predicting the cost and extent of such alterations, renovations and repairs to existing buildings is risky and the client should be aware of these factors when reviewing the cost plan and *Conservation Management Plan*.

Structural Integrity

The cost plan assumes that no major works are required to maintain or rectify the existing structural capacity of the building in its present or proposed uses. Any major structural work arising as a result of the work involved in repairs, demolition, opening up and removal of items as identified in the *Conservation Management Plan* has NOT been included in this cost plan. Any structural work required and identified in Structural Engineer's report will be in addition to the costs presented in this cost plan.

Statutory Obligations

The client should be aware that the Mining Exchange, Offices, Shops, Call Room and its associated spaces and buildings must comply with all statutory obligations and regulations imposed by the various authorities. These requirements have not been included in these costings. The client may need to take these requirements into account in any future uses, design standards and costings.

The *Conservation Management Plan* has made provision for an additional disabled public toilet. However, no costs have been allowed for the provision of general disabled access beyond that indicated in the *Conservation Management Plan* and this may be required to satisfy the requirements of any local and other authorities.

For the provision of fire exits, refer to Section 6.2.1E of the *Conservation Management Plan*. A Building Surveyor's Report will be required for fire prevention measures throughout the building. No cost allowances have been made for fire prevention and other measures.

Tender Date

A tender date of January 2004 was assumed for the preparation of these costings in October 2003 (which has now elapsed) and a general completion of the major part of the work has been assumed as mid-2004.

No provision has been made for *rise and fall* (escalation) in building costs or potential tender adjustments beyond June 2004. Allowances for additional costs must be made if the work is completed after this date.

Tendering

The costing of work described in the *Conservation Management Plan* and this cost plan assumes that the individual related items (in type or location) will be aggregated to form a maximum of two contracts; one for the exterior work and the other for the interior work. As the work is all classified as *short term essential* it should be tendered for at the same time. It is not recommended that the work is tendered for in smaller works packages as the client will lose the benefits that a larger scale contract brings in overall supervision, continuity, plant and materials purchase and overall quality and safety control throughout the project.

In addition, it is recommended that any firms invited to tender should have a good reputation for the quality and craftsmanship required for this significant heritage building.

Goods and Services Tax (GST)

It has been assumed that the City of Ballarat is a tax-exempt body not liable for the payment of GST. Therefore, all the costs in this cost plan are exclusive of GST.

If GST is payable by the City of Ballarat, then this tax will be an additional cost to the estimates prepared in this cost plan.

Costs in the Conservation Management Plan

The costs indicated for each individual item in the *Conservation Management Plan* are a guide for budgeting purposes. However, a separate allowance for Preliminaries, which includes main contractor allowances for overheads, supervision, scaffolding, temporary works, responsibility for site occupational health and safety (OHS) issues and liaison with the client and consultants, has been made in reporting the final costs. These sums are indicated in the summary of costs at the end of this report.

Exclusions from Estimate

The following have been excluded from this cost plan:

- Goods and Services Tax (GST).
- Ongoing maintenance costs.
- Allowances for *rise and fall* (escalation) from June 2004 to the time when the work actually takes place.
- Any land costs or land acquisition expenses, planning fees, survey fees and the like.
- Professional, project management and any other consultant fees.
- Specialist advisors and the work they may recommend. These advisors may be required to advise on paint colours, rendering mixes, electrical and mechanical systems and work, occupational health and safety issues, fire prevention, archaeologist, independent or in-house building surveyors' assessments of the whole or any part of the buildings and other work.

- Fittings, fitments, loose furniture and equipment.
- Major electrical works and new installations.
- Heating installation or equipment.
- Cooling or air-conditioning installations or equipment.
- Asbestos removal of any kind.

SUMMARY OF INITIAL COSTS

(Based on a tender date of January 2004)

SHORT TERM ESSENTIAL	
• INTERIOR WORKS	\$167,700
• ALLOWANCE FOR PRELIMINARIES/OVERHEADS/SUPERVISION/ TEMPORARY WORKS/SCAFFOLDING +15%	\$25,155
TOTAL INTERIOR WORKS	\$192,855
• EXTERIOR WORKS	\$41,170
• ALLOWANCE FOR PRELIMINARIES/OVERHEADS/SUPERVISION/ TEMPORARY WORKS/SCAFFOLDING +15%	\$6,176
TOTAL EXTERIOR WORKS	\$47,346
TOTAL - SHORT TERM ESSENTIAL	\$240,201

SHORT TERM DESIRABLE/LONG TERM ESSENTIAL	
• INTERIOR WORKS	\$72,490
• ALLOWANCE FOR PRELIMINARIES/OVERHEADS/SUPERVISION/ TEMPORARY WORKS/SCAFFOLDING +15%	\$10,874
TOTAL INTERIOR WORKS	\$83,364
• EXTERIOR WORKS	\$1,650
• ALLOWANCE FOR PRELIMINARIES/OVERHEADS/SUPERVISION/ TEMPORARY WORKS/SCAFFOLDING +15%	\$248
TOTAL EXTERIOR WORKS	\$1,898
TOTAL - SHORT TERM DESIRABLE/LONG TERM ESSENTIAL	\$85,261

LONG TERM ESSENTIAL	
• INTERIOR WORKS	\$3,500
• ALLOWANCE FOR PRELIMINARIES/OVERHEADS/SUPERVISION/ TEMPORARY WORKS/SCAFFOLDING +15%	\$525
TOTAL - LONG TERM ESSENTIAL (INTERIOR ONLY)	\$4,025

LONG TERM DESIRABLE	
• EXTERIOR WORKS	\$2,640
• ALLOWANCE FOR PRELIMINARIES/OVERHEADS/SUPERVISION/ TEMPORARY WORKS/SCAFFOLDING +15%	\$396
TOTAL EXTERIOR WORKS	\$3,036
• INTERIOR WORKS	\$68,100
• ALLOWANCE FOR PRELIMINARIES/OVERHEADS/SUPERVISION/ TEMPORARY WORKS/SCAFFOLDING +15%	\$10,215
TOTAL EXTERIOR WORKS	\$78,315
TOTAL - LONG TERM DESIRABLE	\$81,351

GRAND SUMMARY	
TOTAL - SHORT TERM ESSENTIAL	\$240,200
TOTAL - SHORT TERM DESIRABLE/LONG TERM ESSENTIAL	\$85,260
TOTAL - LONG TERM ESSENTIAL	\$4,025
TOTAL - LONG TERM DESIRABLE	\$81,350
TOTAL COST OF ALL WORKS	\$410,835

Note: Further cost breakdowns and summaries of costs can be provided on request.

SECTION 7

7.0 Bibliography

□ **SECTION 7**

7.0 Bibliography

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□ **SECTION 8**

8.0 Appendices

8.01 Floor Plans & Photographic & Integrity Keys

8.02 Historical Figures

8.03 Contemporary Photographs

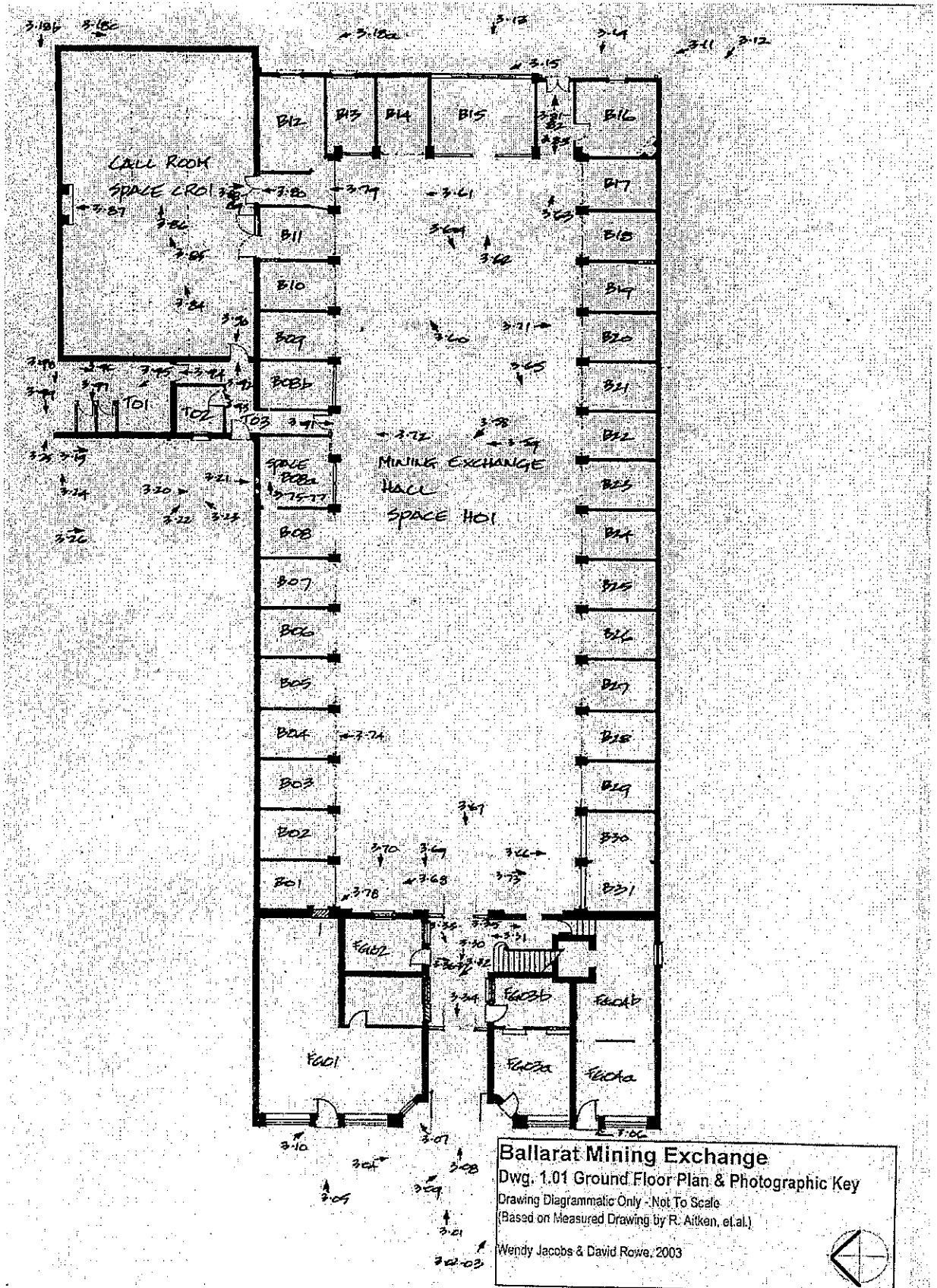
8.04 Comparative Analysis Figures

8.05 Building Schedules

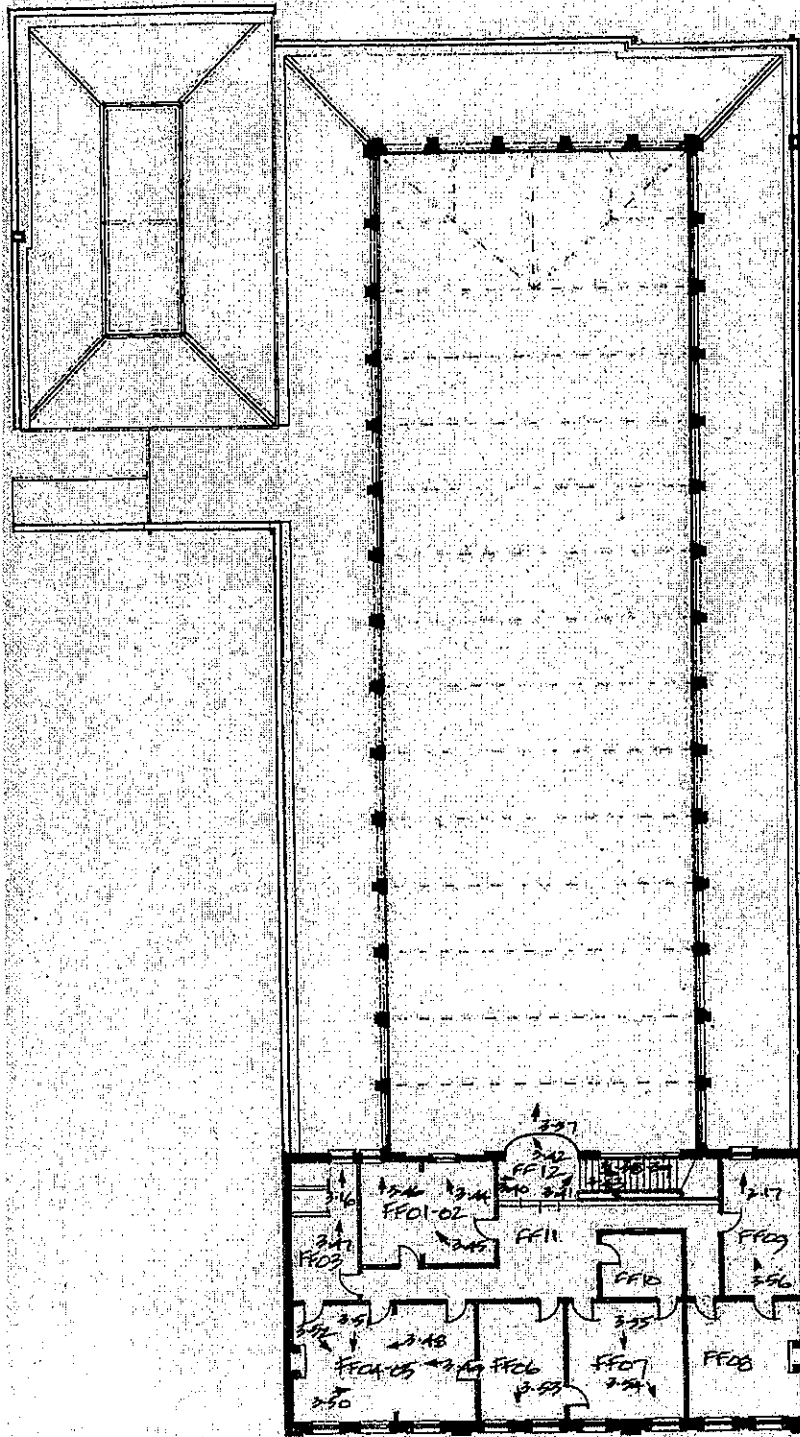
8.06 Australia ICOMOS Burra Charter

**8.07 Criteria for Assessment of Cultural
Significance as adopted by the Heritage
Council of Victoria**

8.01 Floor Plans & Photographic & Integrity Keys

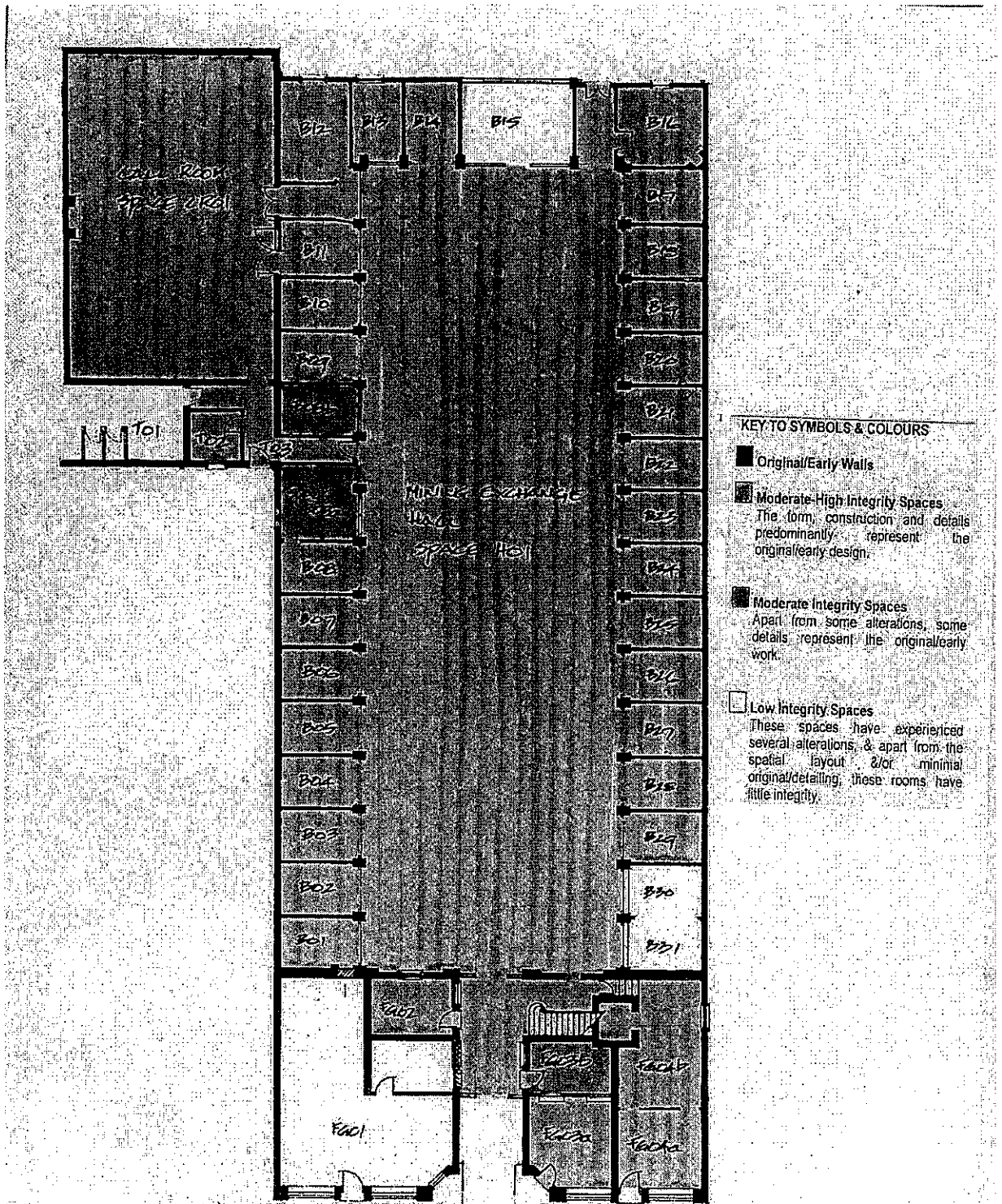


Ballarat Mining Exchange
 Dwg. 1.01 Ground Floor Plan & Photographic Key
 Drawing Diagrammatic Only - Not To Scale
 (Based on Measured Drawing by R. Aitken, et al.)
 Wendy Jacobs & David Rowe, 2003



Ballarat Mining Exchange
Dwg. 1.02 First Floor Plan & Photographic Key
Drawing Diagrammatic Only - Not To Scale
(Based on Measured Drawing by R. Aitken, et al.)
Wendy Jacobs & David Rowe, 2003



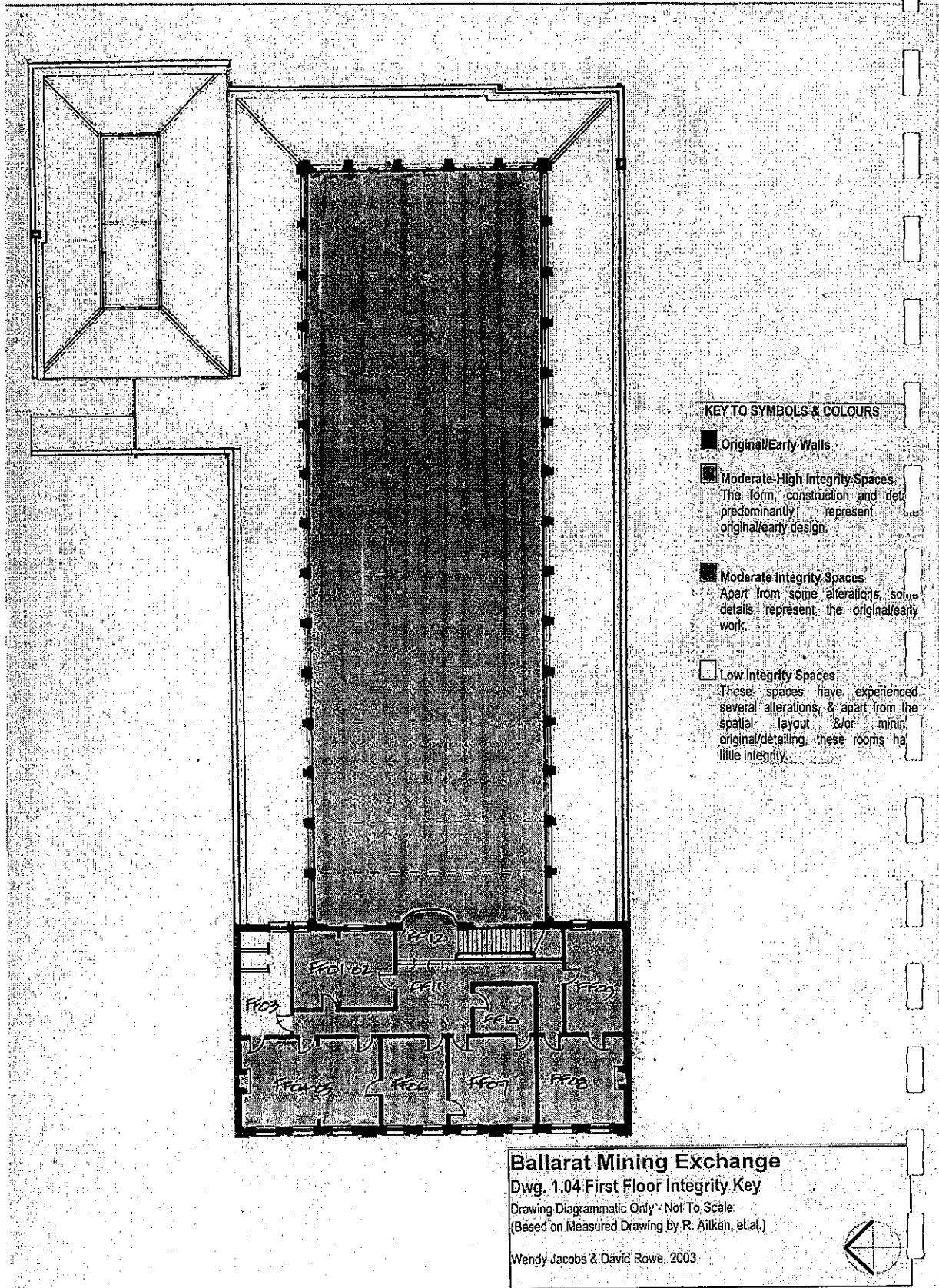


KEY TO SYMBOLS & COLOURS

- Original/Early Walls
- Moderate-High Integrity Spaces
The form, construction and details predominantly represent the original/early design.
- Moderate Integrity Spaces
Apart from some alterations, some details represent the original/early work.
- Low Integrity Spaces
These spaces have experienced several alterations, & apart from the spatial layout &/or minimal original/detailing, these rooms have little integrity.

Ballarat Mining Exchange
 Dwg. 1.03 Ground Floor Integrity Key
 Drawing Diagrammatic Only - Not To Scale
 (Based on Measured Drawing by R. Aitken, et al.)
 Wendy Jacobs & David Rowe, 2003





8.02 Historical Figures

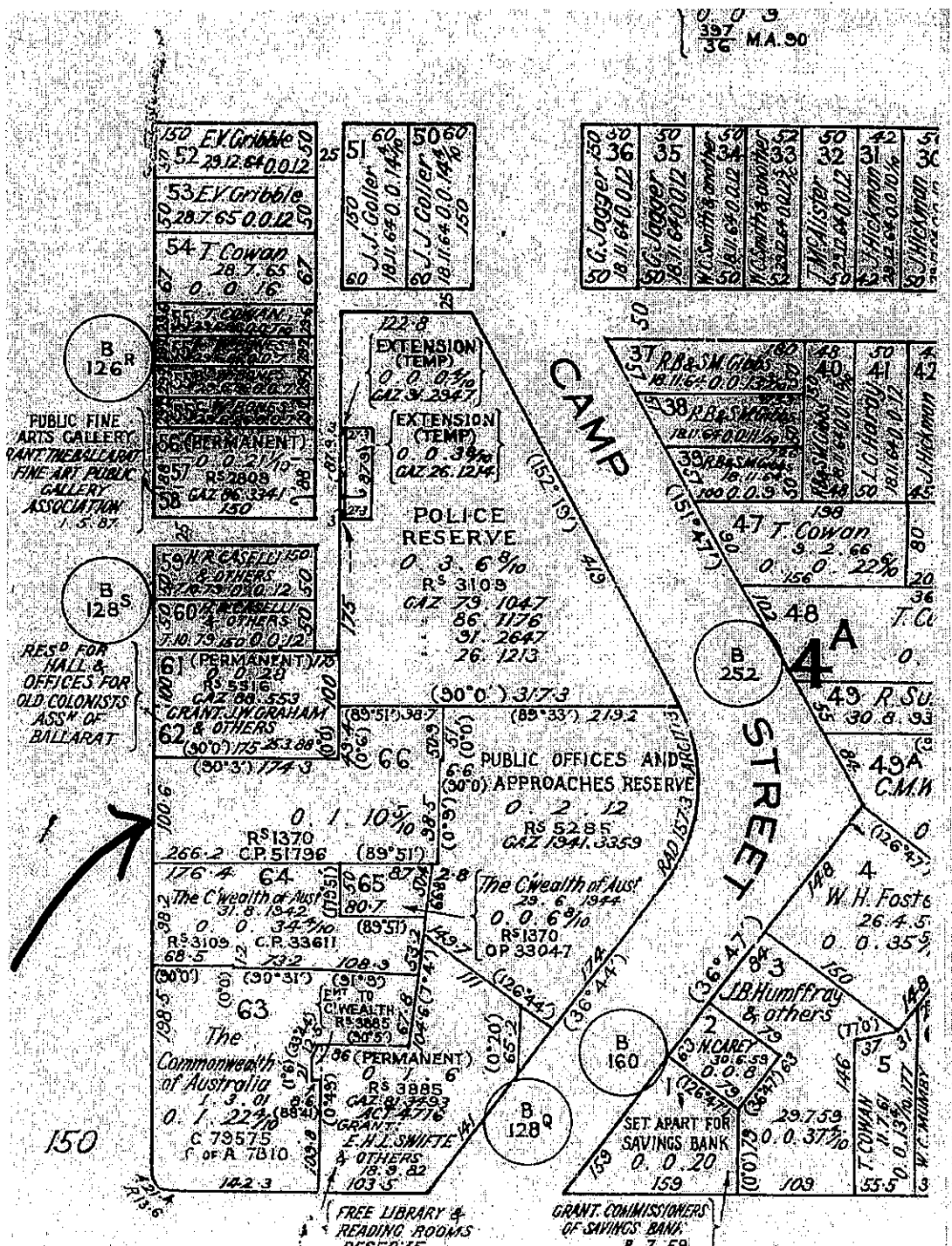


Figure 2.01: Section of Parish Plan, Township of Ballarat, date unknown [early 20th century]. Source: Public Record Office, Victoria.

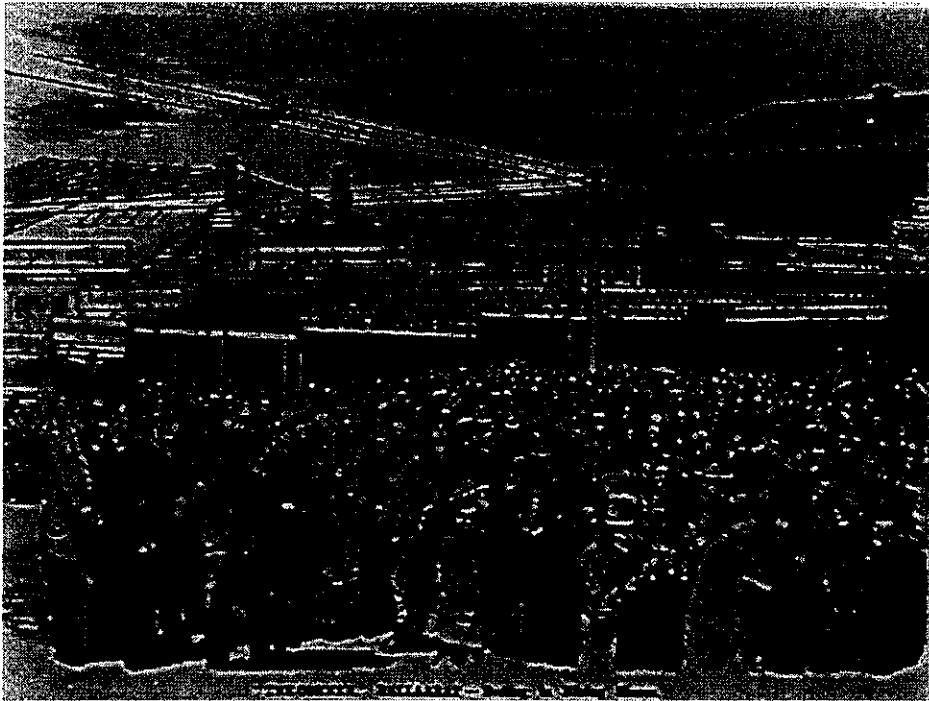


Figure 2.02: "The Corner", Sturt Street, Ballarat, Dealing in Mining Shares, 25 October 1864. Source: Latrobe Picture Collection, State Library of Victoria, library record no. 923372.

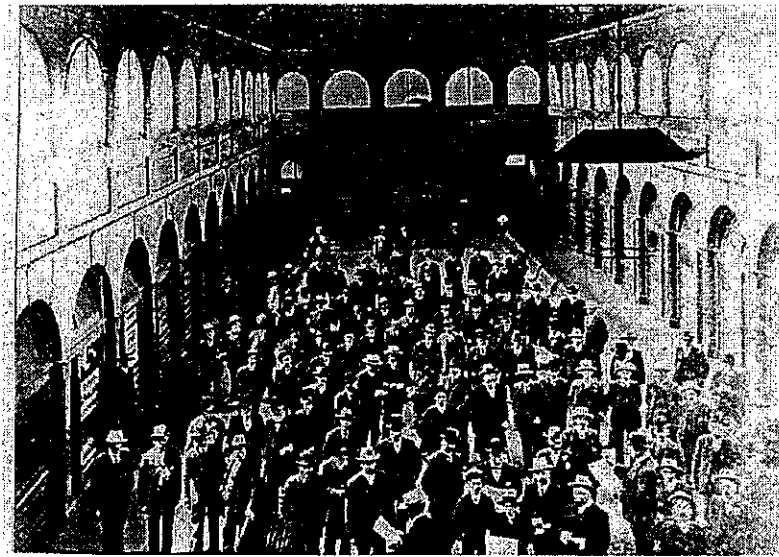


Figure 2.03: Interior, Ballarat Mining Exchange Hall, c.1890. Note the original gas lamps and the original arches at the east end (background). Source: City of Ballarat files.



Figure 2.04: Share brokers and jobbers, Ballarat Mining Exchange hall, c.1900. Source: City of Ballarat files.

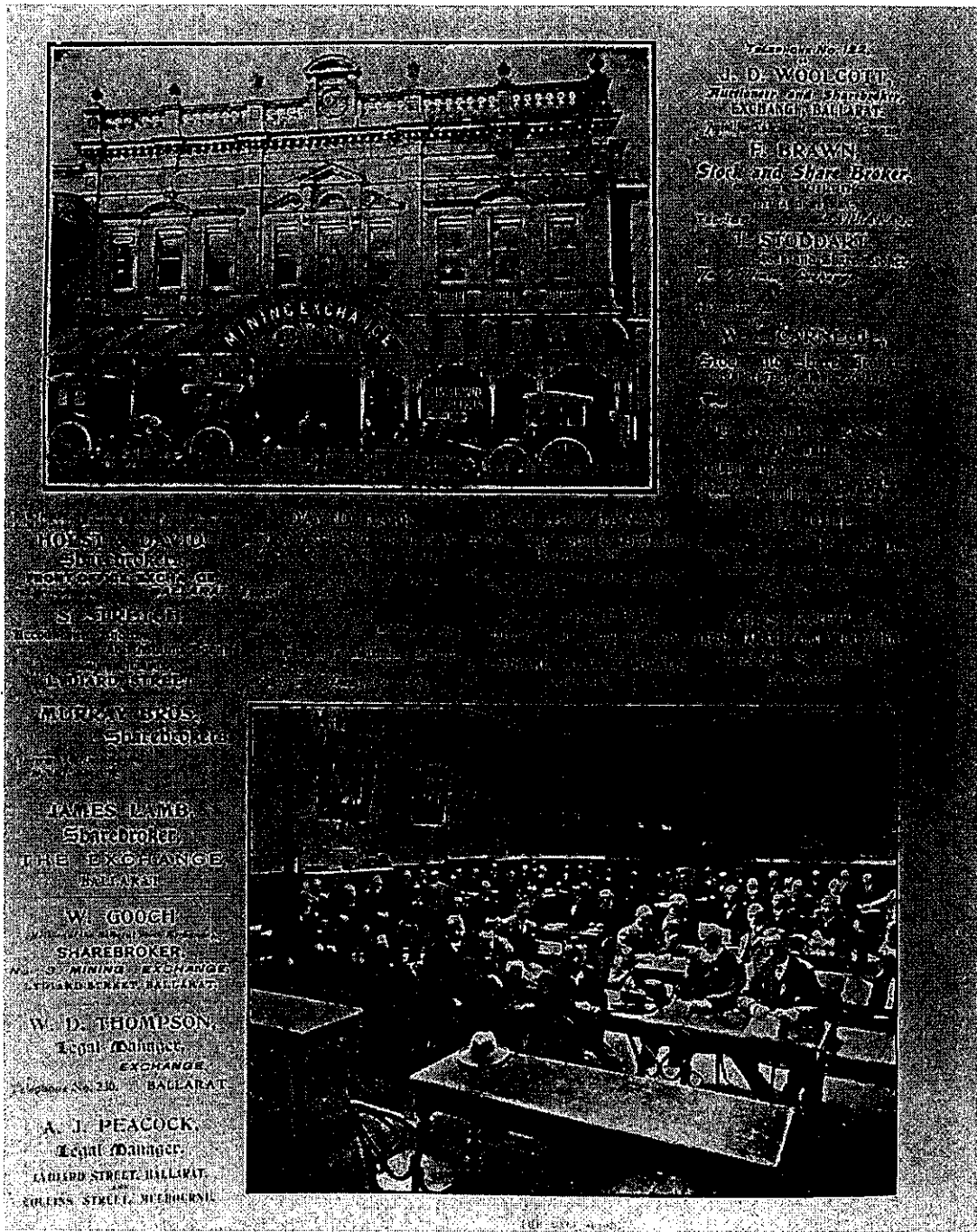


Figure 2.05: Newspaper advertisement/directory showing the exterior of the Ballarat Mining Exchange & the interior of the Call Room, 1904. Source: *Evening Echo* newspaper, 1904 in City of Ballarat files.

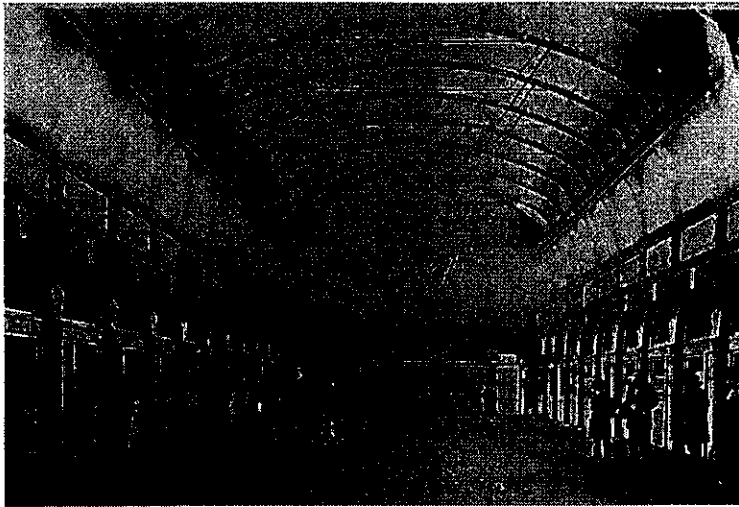


Figure 2.06: Interior, Ballarat Mining Exchange Hall, c.1915. The date hand-written on the photograph is inaccurate. There are noticeably fewer people in this photograph than earlier photographs. Source: City of Ballarat files [originally from the Ballarat Historical Society].

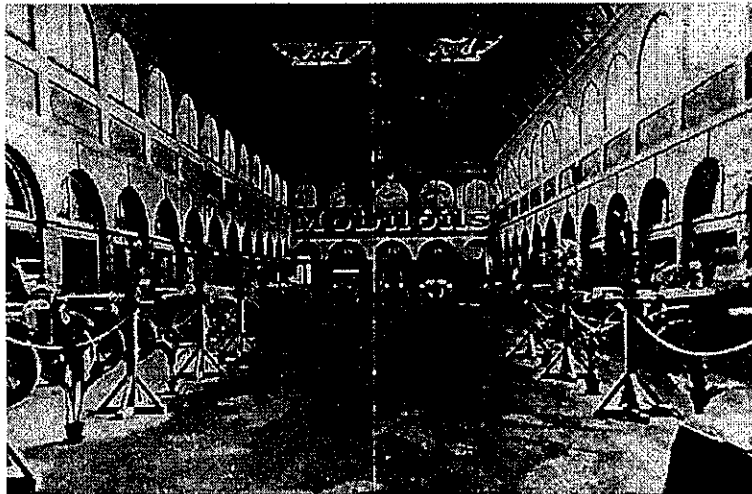


Figure 2.07: Interior, Mining Exchange hall as Buick & Vauxhall showroom, c.1921. Source: City of Ballarat files.



Figure 2.08: Interior, Mining Exchange hall as a bus depot, c.1970. Note the large introduced arch at the east end to allow bus access – compare with Figures 2.03 & 2.06.



Figure 2.09: Lithograph of the exterior of front pavilion (Lydiard Street North façade), c.1892. Source: City of Ballarat files [possibly originally in *The Leader* newspaper, 8 October 1892].



Figure 2.10: Exterior, Ballarat Mining Exchange & the neighbouring Old Colonist's Hall, Lydiard Street North, Ballarat, c.1900. Source: City of Ballarat files.

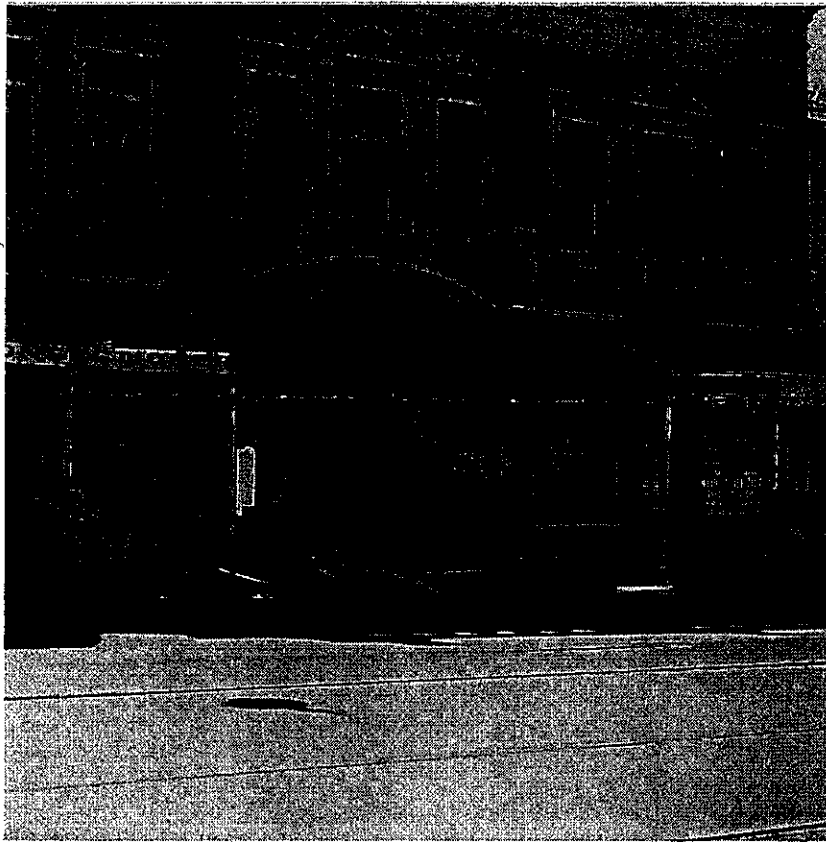


Figure 2.11: Exterior, Lydiard Street façade, showing the demolition of the verandah in 1964. Source: City of Ballarat files.

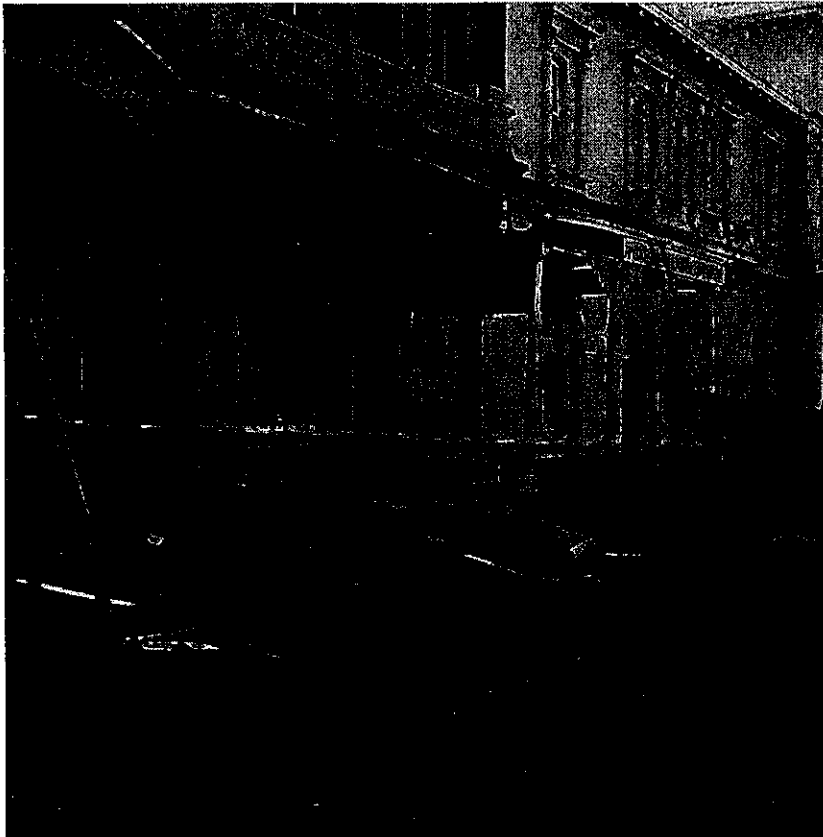


Figure 2.12: Exterior, Lydiard Street façade showing the demolition of the verandah in 1964. Source: City of Ballarat files.

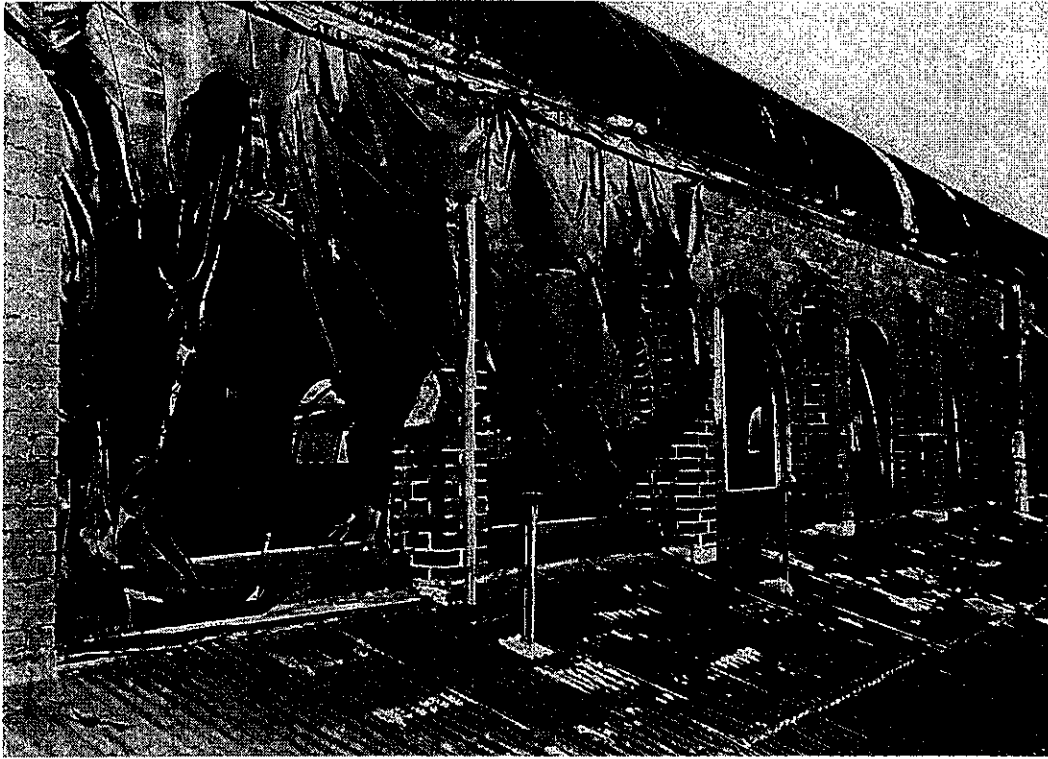


Figure 2.13: Exterior detail of Exchange hall clerestory windows, north elevation, c.1974. The plastic appears to have been introduced to keep the unglazed & partially glazed hall watertight. Source: City of Ballarat files.

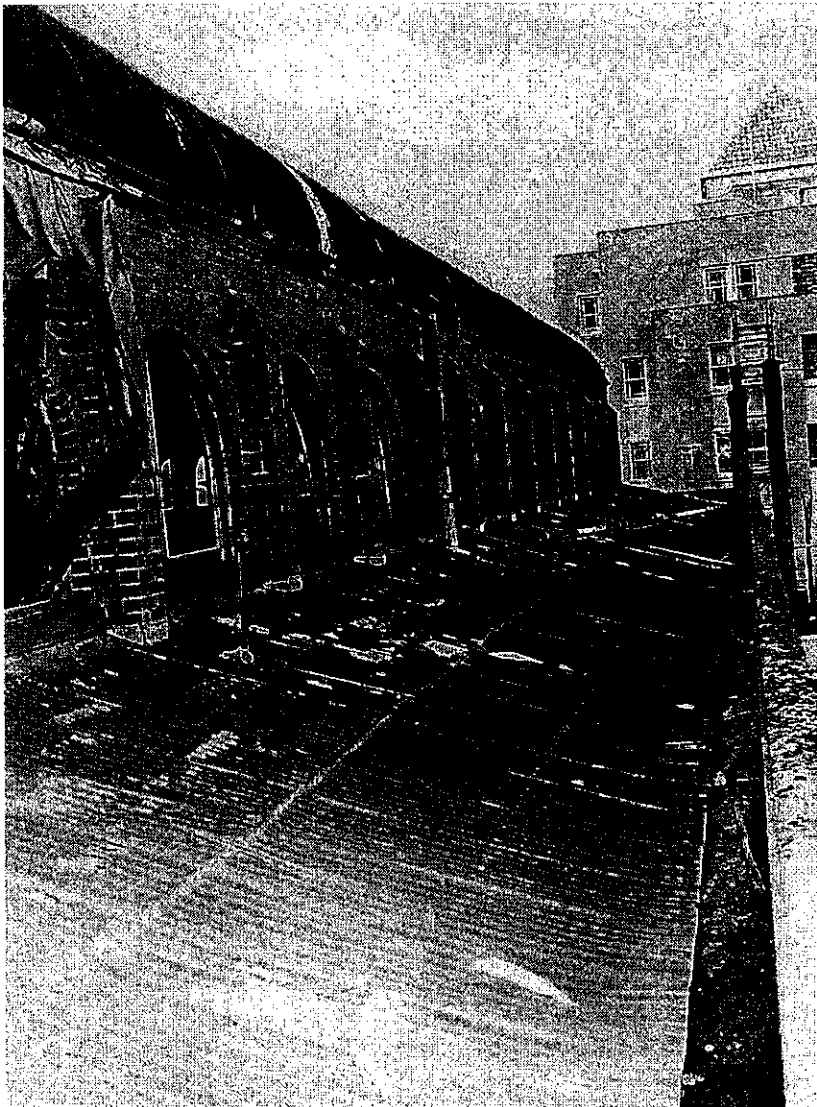


Figure 2.14: Exterior detail of Exchange hall clerestory windows, north elevation, c.1974. Note the damage/deterioration of the windows at that time. Source: City of Ballarat files..

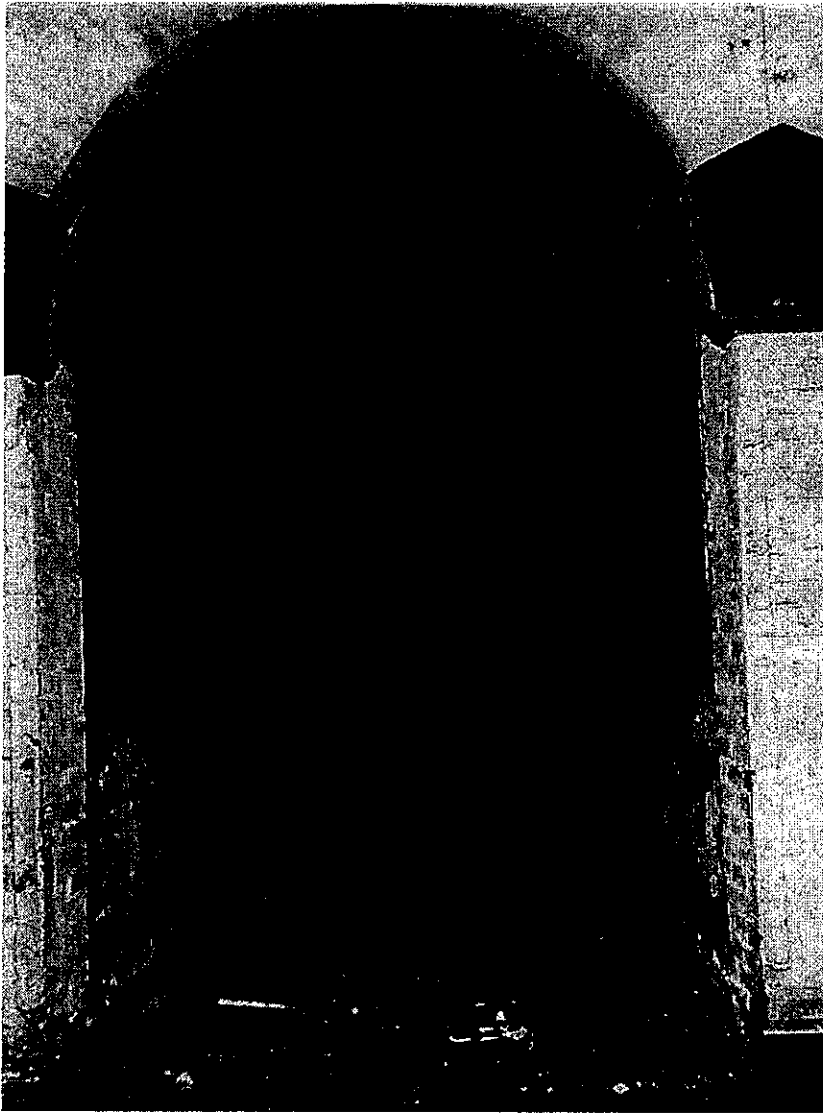


Figure 2.15: Interior detail of broker's booth off the Exchange hall, c.1974. Note the considerable deterioration in the plastered walls and timber floor caused by significant falling and possibly rising damp. Source: City of Ballarat files.



Figure 2.16: Interior detail of the Call Room, c.1974, showing evidence of substantial falling damp and deterioration in the coved timber ceiling. Source: City of Ballarat files.



Figure 2.17: Scaffolding erected as part of the restoration of the Lydiard Street façade, September 1983. Source: *The Courier* newspaper, Ballarat, 22 September 1983 in National Trust of Australia (Victoria) file no. B3565.

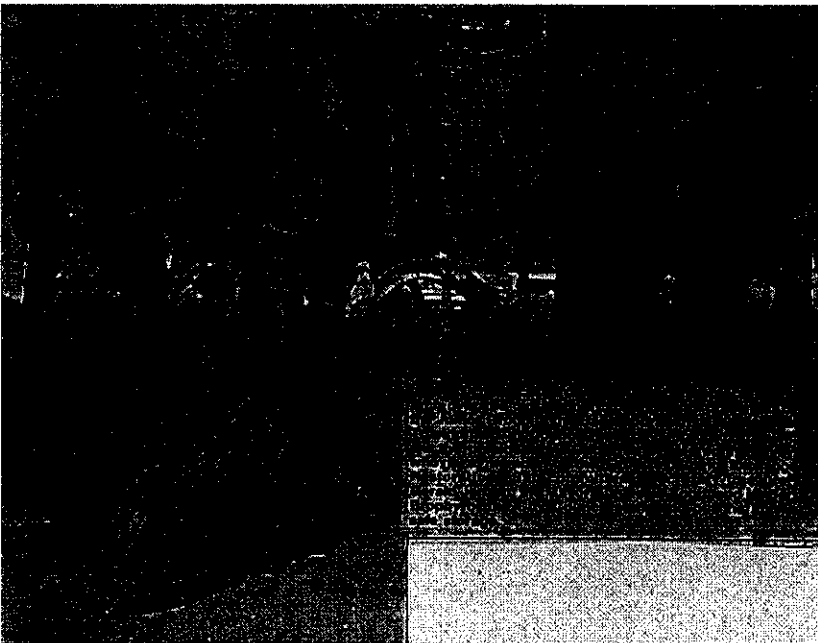


Figure 2.18: Presentation of original cast iron detailing of the arched canopy of the Mining Exchange building from the Junior Group of the Ballarat branch of the National Trust to the Ballarat City Council, 1977. Source: *The Courier* newspaper, Ballarat, 20 August 1977 in National Trust of Australia (Victoria) file B3565.

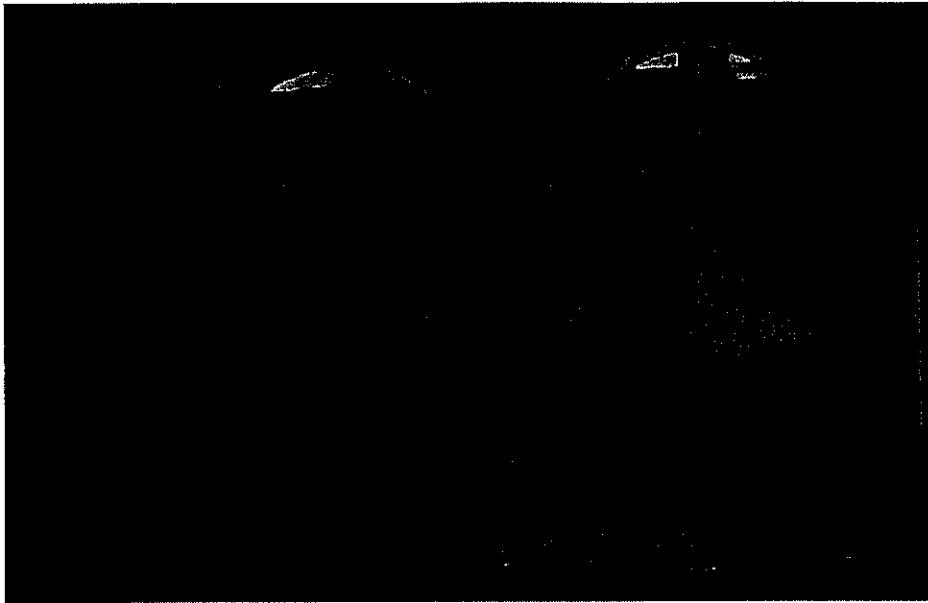


Figure 2.19: Reconstruction and renovation of timber and glazed broker's booths and panelled timber doors, c.1985. These booths (spaces B08a & 8b) were converted into toilet facilities. Note the paintwork that had been introduced over the brickwork prior to the 1980s. Source: City of Ballarat files.

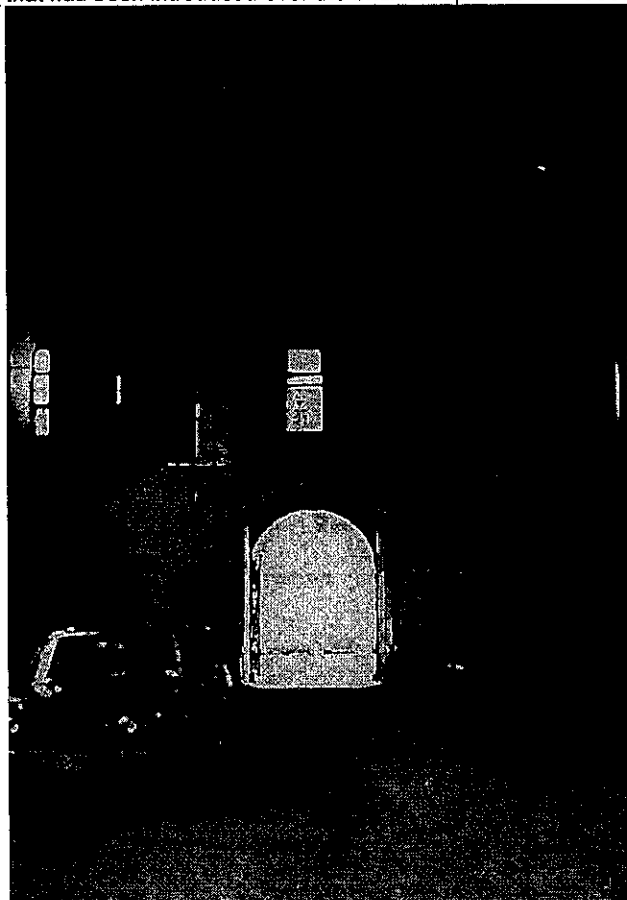


Figure 2.20: Interior, Mining Exchange hall, c.1985 looking west towards Lydiard Street North. Note the introduced paintwork over the brick walls.

8.03 Contemporary Photographs



Photo 3.01: Exterior, Front Pavilion, West Façade.

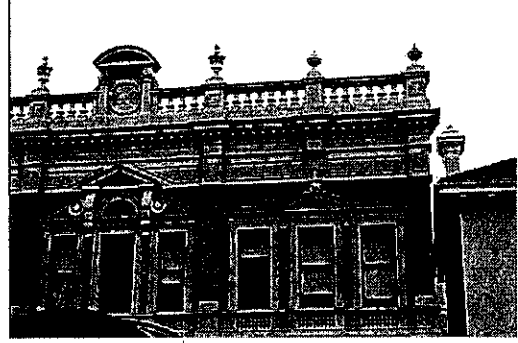


Photo 3.02: Exterior, Front Pavilion, detail of west first floor façade and parapet.



Photo 3.03: Exterior, Front Pavilion, detail of reconstructed verandah on the west façade.

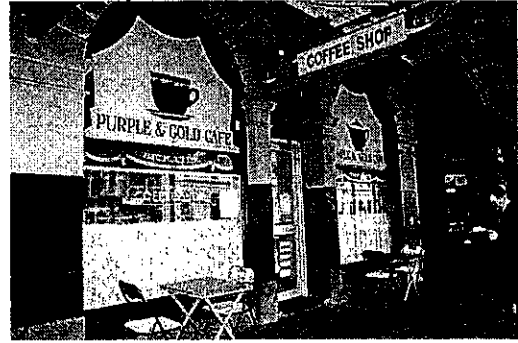


Photo 3.04: Exterior, Front Pavilion, detail of arcaded ground floor shopfronts on the west façade.



Photo 3.05: Exterior, Front Pavilion, detail of introduced aluminium framed and glazed door on ground floor shopfront, west façade.



Photo 3.06: Exterior, Front Pavilion, detail of intact ground floor shopfront with reconstructed six panelled timber door, west façade.



Photo 3.07: Exterior, Front Pavilion, detail of reconstructed six panelled timber door with round-arched fanlight above. This door is on the north side of the base to the springing of the entrance arch. Note the decorative floral motifs in the arch. Also note that the fanlight has been painted over to obscure introduced lowered ceiling within.



Photo 3.08: Exterior, Front Pavilion, detail of central ground floor entrance arch, west façade. Note the early/reconstructed iron gates and the introduced aluminium framed and glazed doors behind.



Photo 3.09: Exterior, Front Pavilion, detail of raised ground level outside shopfronts.

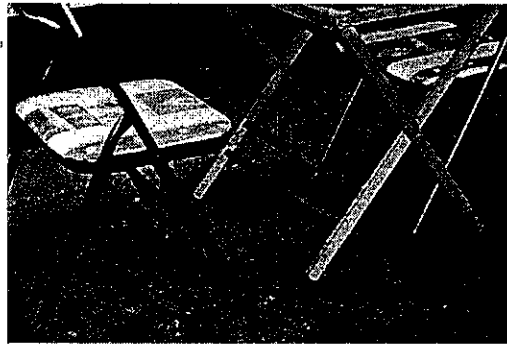


Photo 3.10: Exterior, Front Pavilion, detail of partially submerged original subfloor vent opening due to raised ground level.



Photo 3.11: Exterior, Exchange Hall, east elevation (and part south elevation).



Photo 3.12: Exterior, Exchange Hall, south elevation (and part east elevation).

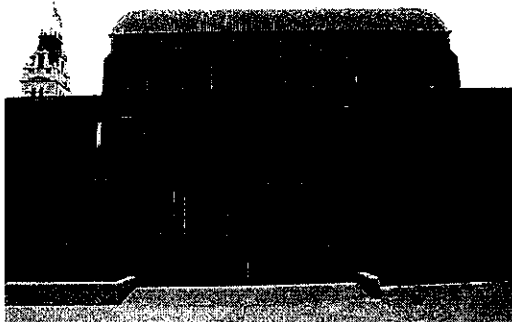


Photo 3.13: Exterior, Exchange Hall, detail of introduced bank of timber framed double hung windows and sheet wall cladding in east elevation.



Photo 3.14: Exterior, Exchange Hall, detail of poor quality re-rendering to parapet capping, east elevation, south end.

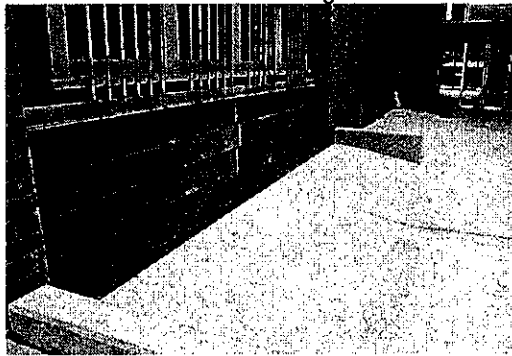


Photo 3.15: Exterior, Exchange Hall, detail of ramped concrete ground level adjacent to the introduced windows and wall cladding on the east elevation. Also note the space between the introduced concrete ramp and the wall base.

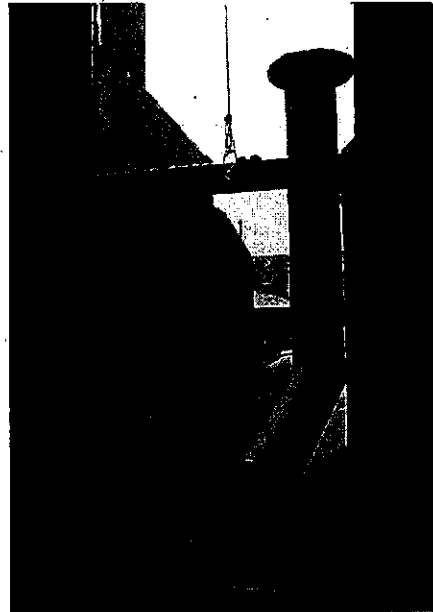


Photo 3.16: Exterior, Exchange Hall, north elevation (clerestorey level), west end showing introduced zincalume ventilation stack which is causing rusting at the junctions of the base cladding and the roof cladding.

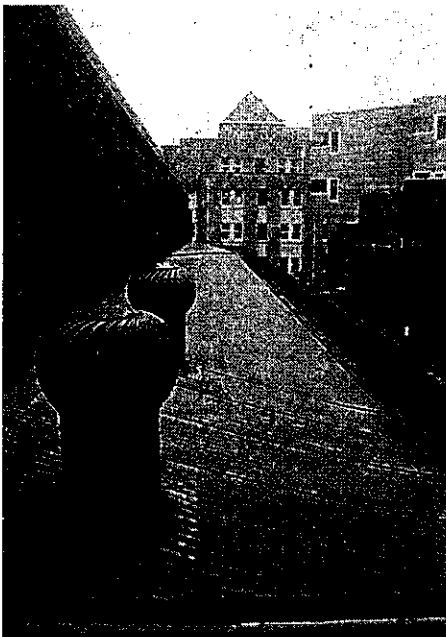


Photo 3.17: Exterior, Exchange Hall, south elevation (clerestorey level), west end, showing galvanised ventilation stacks.

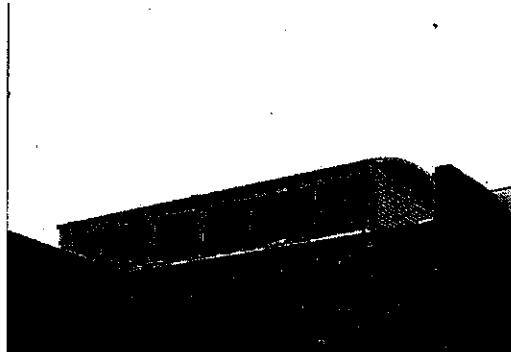


Photo 3.18a: Exterior, Call Room, south elevation showing deteriorated framing and cladding of lantern light.

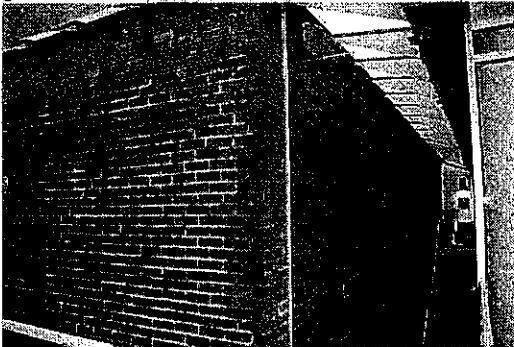


Photo 3.18b: Exterior, Call Room, view of north and east elevations now largely enclosed by the new University of Ballarat building.



Photo 3.18c: Exterior, Call Room, view of east elevation now largely enclosed by the new University of Ballarat building.

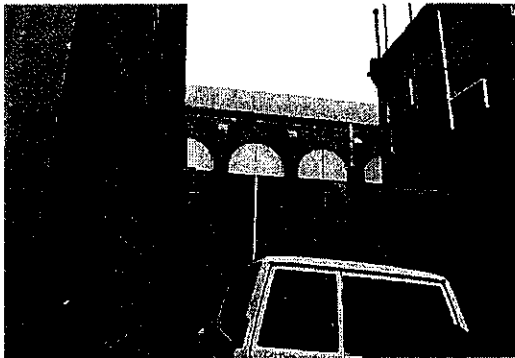


Photo 3.19: Exterior, Exchange Hall and Toilet Wing (part north & west elevations respectively).

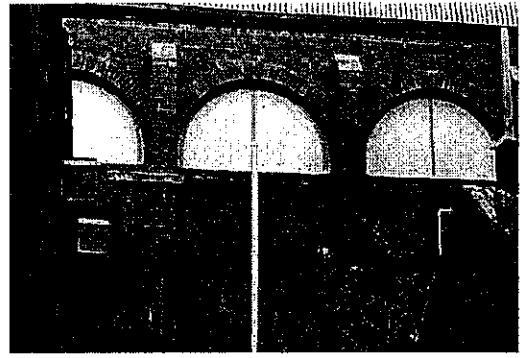


Photo 3.20: Exterior, Exchange Hall and Toilet Wing (part north & west elevations respectively). Note the deteriorated rendered capping to the parapet of the lower north façade of the Exchange hall.



Photo 3.21: Exterior, Exchange Hall, part lower north elevation showing introduced toilet windows of ladies' toilets.



Photo 3.22: Exterior, Office & Toilet Wing, part west elevation (south end).

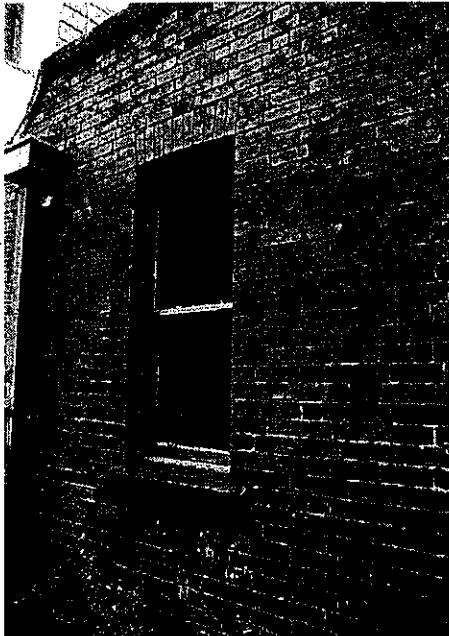


Photo 3.23: Exterior, Office & Toilet Wing, part west elevation (north end) showing early timber framed double hung window with early bluestone sill.

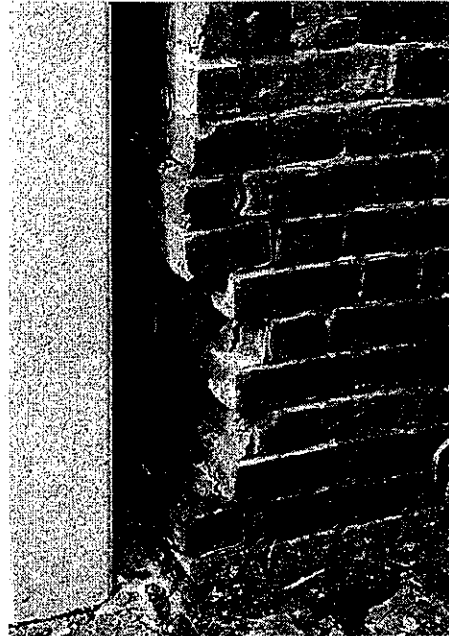


Photo 3.24: Exterior, Office & Toilet Wing, detail of damaged/partially demolished north-west corner of west elevation.



Photo 3.25: Exterior, Office & Toilet Wing, detail of open space showing partial demolition of toilet cubicle, timber framed galvanised corrugated iron partition (north end) and introduced raised concrete slab.



Photo 3.26: Exterior lane west of (opposite) Office & Toilet wing and north of the Exchange Hall.

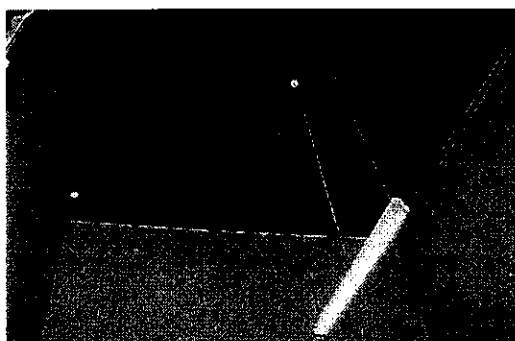


Photo 3.27: Interior, Shop (space FG03a). Detail of early stained timber lined ceiling.



Photo 3.28: Interior, Shop (space FG03a). View of east internal wall with altered early panelled timber door and door architraves.

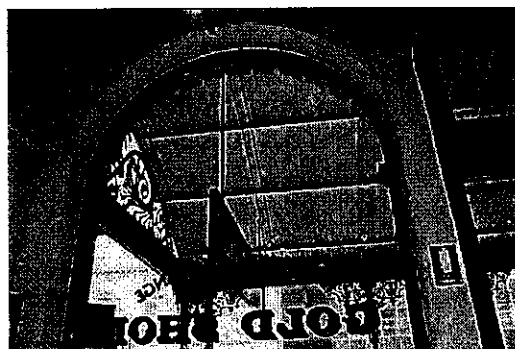


Photo 3.29: Interior, Jeweler's Shop (space FG04a). Detail of timber window architraves.

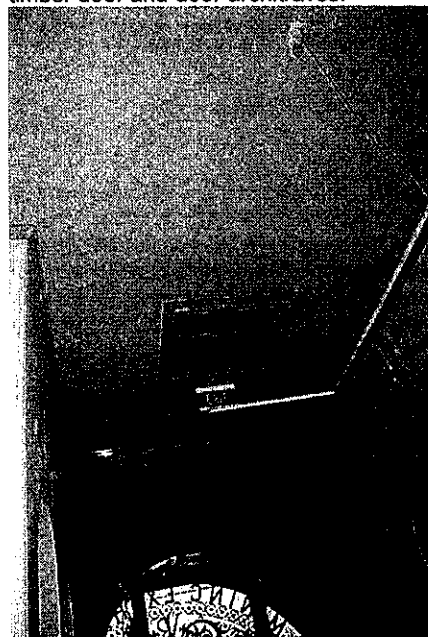


Photo 3.30: Interior, Entrance/Stair Hall (space FG05). Detail of ceiling and access hatch, and introduced aluminium framed and glazed partition (west end).

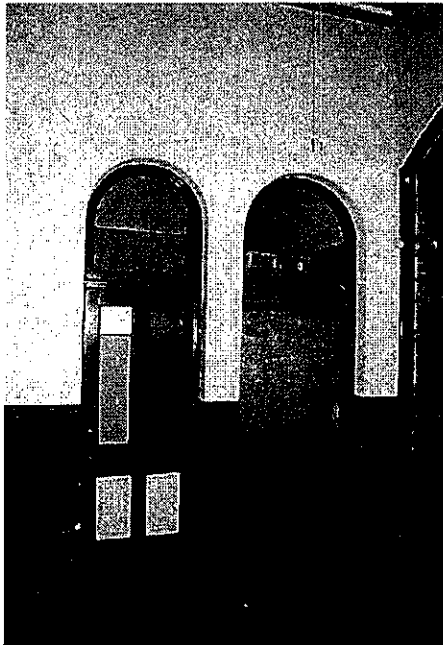


Photo 3.31: Interior, Entrance/Stair Hall (space FG05). Detail of north wall showing original round arched door and window openings and altered window and door.

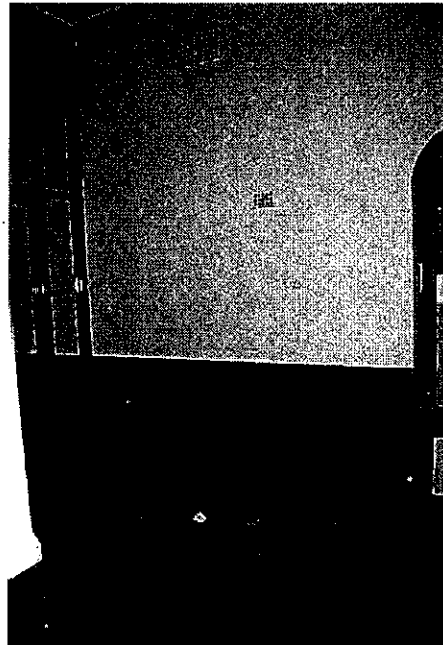


Photo 3.32: Interior, Entrance/Stair Hall (space FG05). Detail of north walls showing blocked up original window and door openings (west end of north wall). Note the intact bluestone window sill projecting from the wall, and the cut-ins to the skirting showing the location of the original doorway.

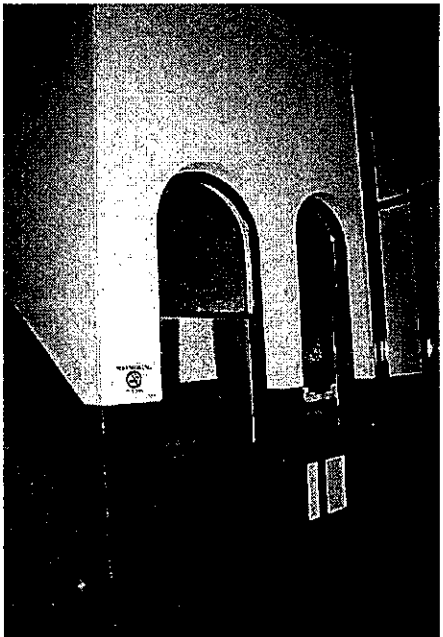


Photo 3.33: Interior, Entrance/Stair Hall (space FG05). View of south wall (west of stairs) showing original round arched window and door opening, with altered window and door.



Photo 3.34: Interior, Entrance/Stair Hall (space FG05). View of west end showing introduced aluminium framed and glazed partition with double doors.

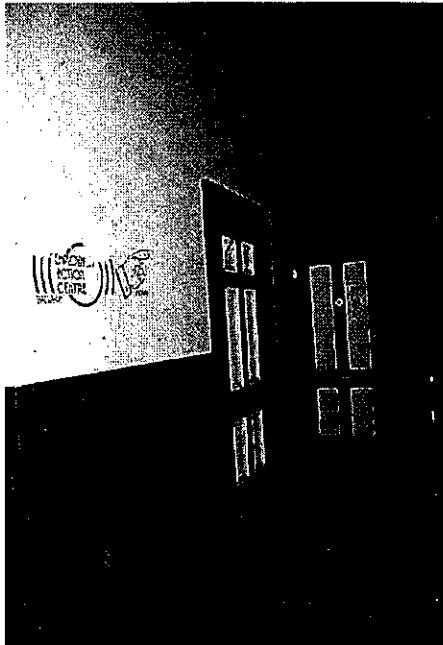


Photo 3.35: Interior, Entrance/Stair Hall (space FG05), east wall (south end). Note the original four panelled timber doors. There also appears to be evidence of original bluestone flagging under the asphalt floor surface.

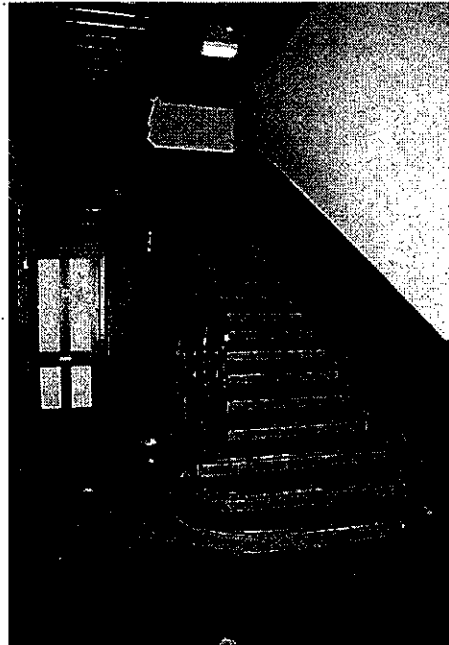


Photo 3.36: Interior, Entrance/Stair Hall (space FG05), showing original staircase.

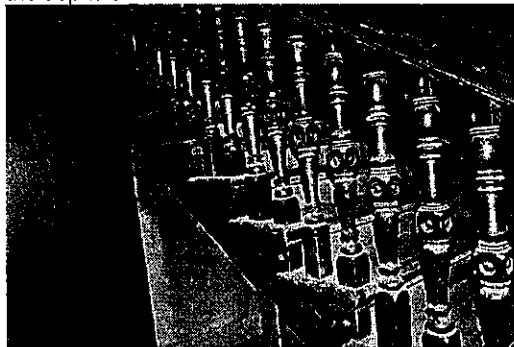


Photo 3.37: Interior, Entrance/Stair Hall (space FG05). Original timber staircase detail.

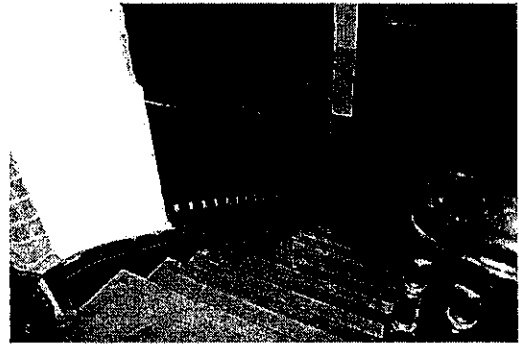


Photo 3.38: Interior, Landing & Stairs (space FF12). View of upper flight of stairs. Note the introduced timber stair balustrade (to the left).

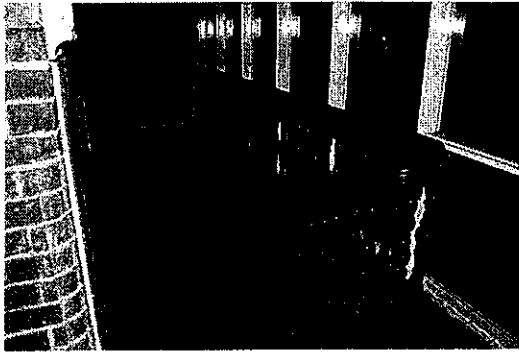


Photo 3.39: Interior, Landing & Stairs (space FF12). View of original upper flight of stairs. Also note the introduced timber and glazed partition wall to the west (right of stairs),

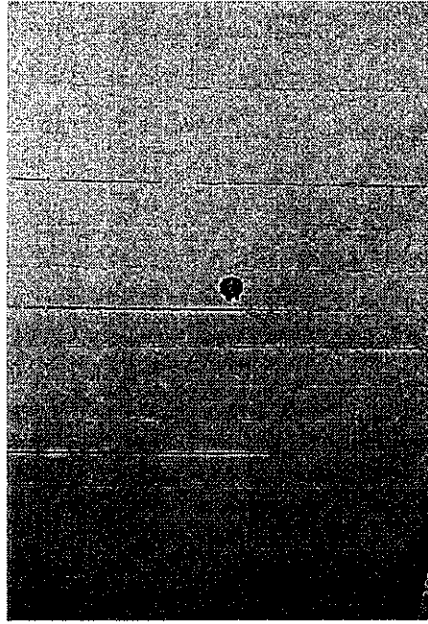


Photo 3.40: Interior, Landing & Stairs (space FF12). Detail of early v jointed timber lining board ceiling.

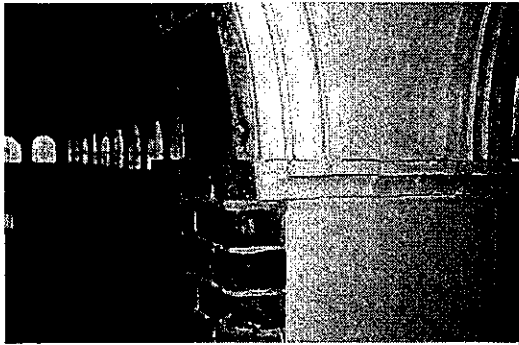


Photo 3.41: Interior, Landing & Stairs (space FF12). Detail of archway showing damaged/missing projecting brick and plaster cornices.

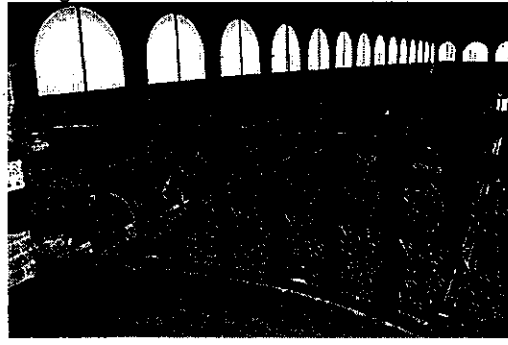


Photo 3.42: Interior, Landing & Stairs (space FF12). Detail of original curved landing with reconstructed sway bellied cast iron balustrade.

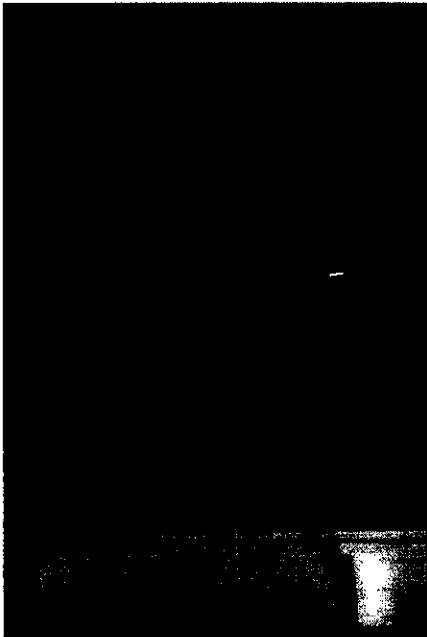


Photo 3.43: Interior, Landing & Stairs (space FF12). Detail of notched ceiling member that may indicate the location of an early screen/partition that has subsequently been removed.

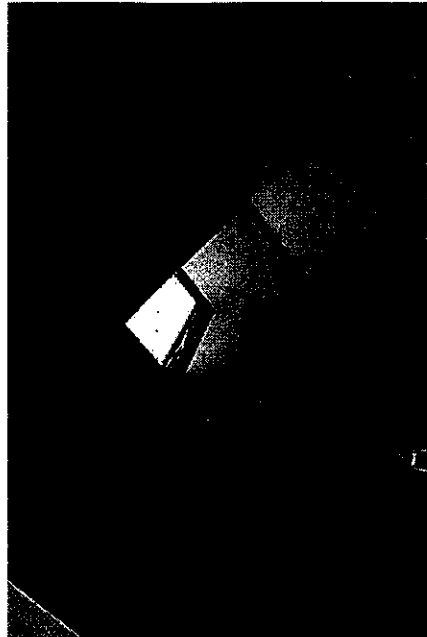


Photo 3.44: Interior, Office (spaces FF01-02). Detail of introduced strapped ceiling and original (altered) skylight.

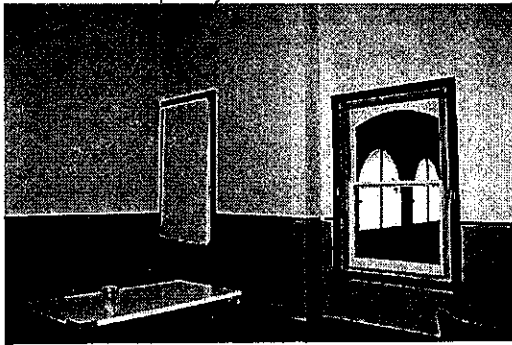


Photo 3.45: Interior, Office (spaces FF01-02). View of north-east corner showing projecting wall nib (indicating previous original wall) and the timber framed double hung windows.

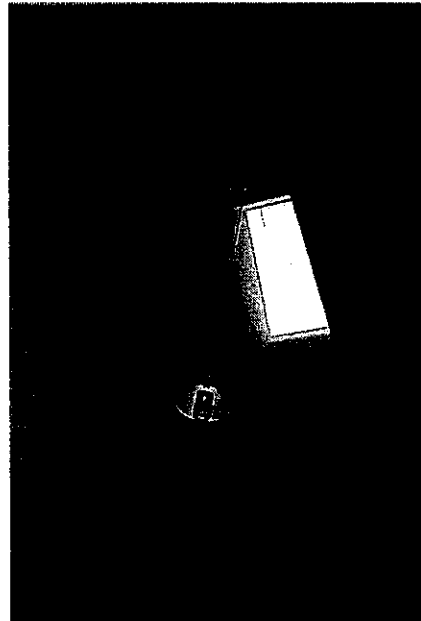


Photo 3.46: Interior, Office (spaces FF01-02). Detail of original (altered skylight), north end.

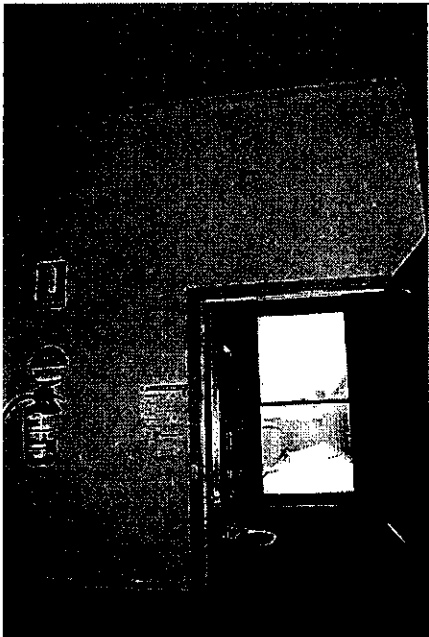


Photo 3.47: Interior, Kitchen & Toilets (space FF03). View looking east showing introduced cubicle walls in the foreground and original timber framed double hung window opening in the background.

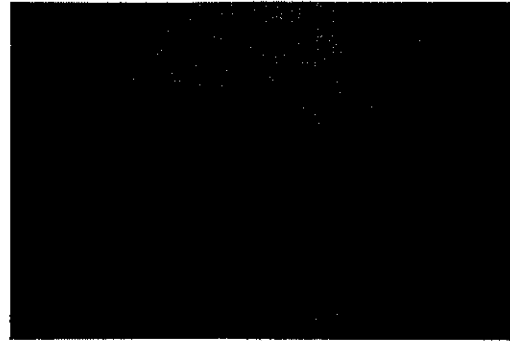


Photo 3.48: Interior, Office (spaces FF04/05). Detail of introduced strapped sheet ceiling and original ceiling vent with galvanised hood.

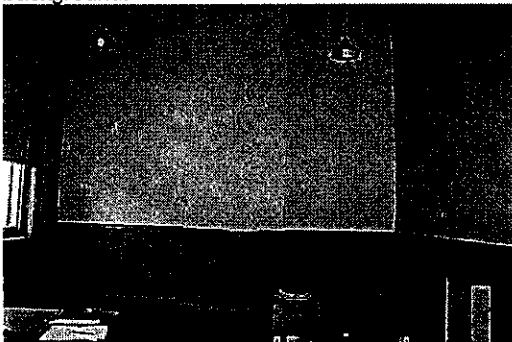


Photo 3.49: Interior, Office (spaces FF04-05). View looking north showing original (altered) round arched fireplace.

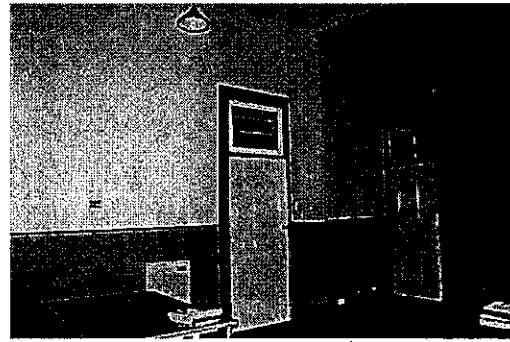


Photo 3.50: Interior, Office (spaces FF04-05). View looking south-east. Note projecting wall and ceiling nubs indicating the location of the previous original wall. Also note the original panellled timber doors with transoms.



Photo 3.51: Interior, Office (spaces FF04-05). View looking west showing original timber framed double hung windows with moulded timber architraves.



Photo 3.52: Interior, Office (spaces FF04-05). View looking south-west.

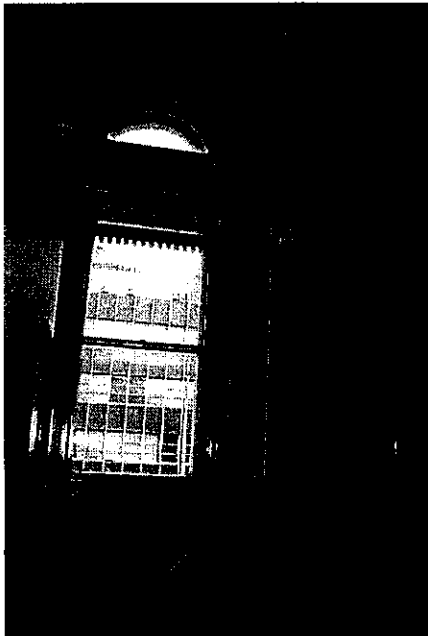


Photo 3.53: Interior, Office (space FF06). View of west wall showing timber framed double hung windows and semi-circular window.

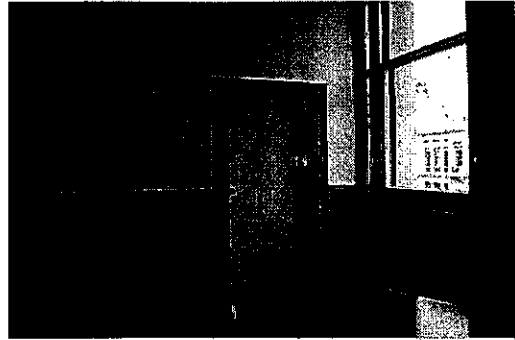


Photo 3.54: Interior, Office (space FF07). View looking south-west.



Photo 3.55: Interior, Office (space FF07), showing west wall and original timber framed double hung windows.



Photo 3.56: Interior, Office (space FF09). Note the original panelled timber door with transom window and the timber framed double hung window.



Photo 3.57: Interior, Exchange Hall (space H01). View from first floor landing (west end) looking east.



Photo 3.58: Interior, Exchange Hall (space H01). View of north wall (western half) showing arcaded booths. The gas heater and stand in the foreground have been introduced.

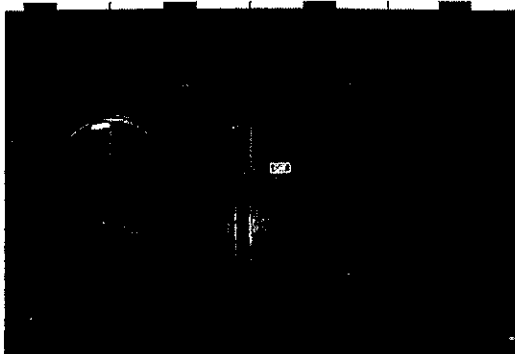


Photo 3.59: Interior, Exchange Hall (space H01). View of introduced panelled timber and glazed partitions on north wall, screening the ladies' and men's toilets. These partitions appear to be a reconstruction of the original design. The wider single six panelled timber door is original.

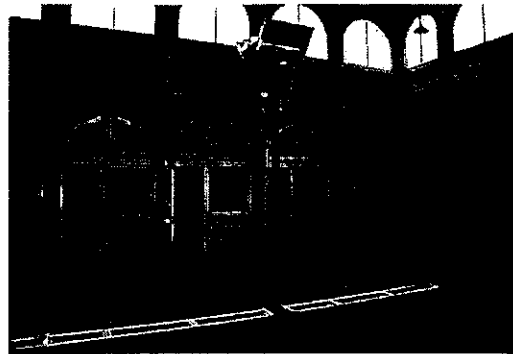


Photo 3.60: Interior, Exchange Hall (space H01). View of north wall (east end) showing arcaded booths. The corner arch forms the opening to the northern passage that leads to the Call Room.



Photo 3.61: Interior, Exchange Hall (space H01). View of north-east corner, showing northern passage to the Call Room.

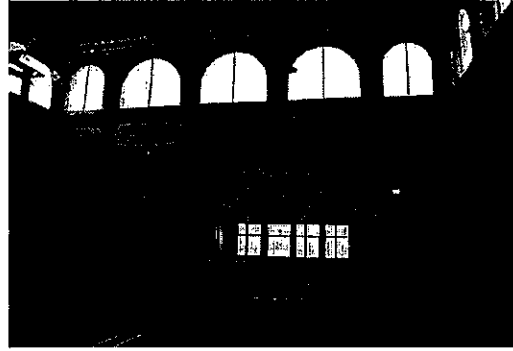


Photo 3.62: Interior, Exchange Hall (space H01). View of east wall. Note the introduced large arched opening (with introduced infill) that was once two booth arches.

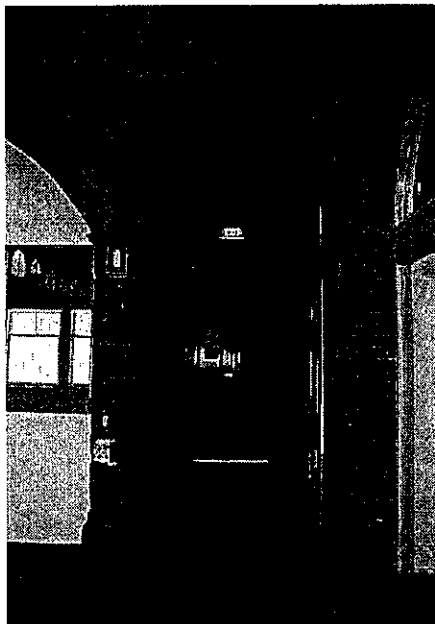


Photo 3.63: Interior, Exchange Hall (space H01). View of rear passage to eastern exit.



Photo 3.64: Interior, Exchange Hall (space H01). View of south wall (east end) showing arcaded booths.

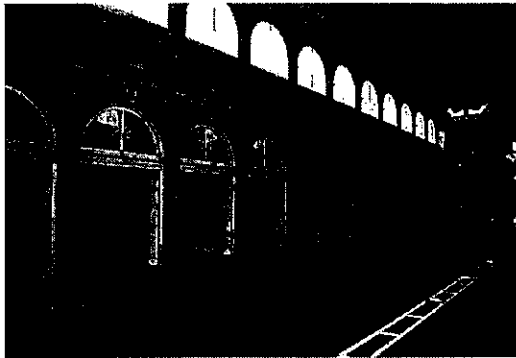


Photo 3.65: Interior, Exchange Hall (space H01). View of south wall (west end) showing arched booths.

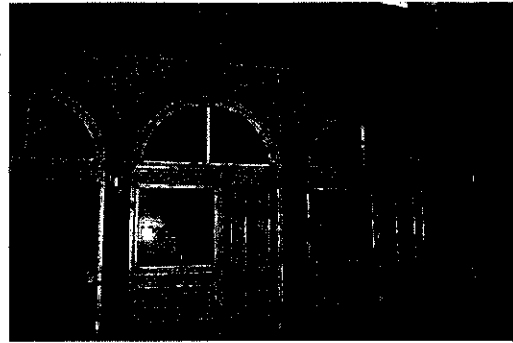


Photo 3.66: Interior, Exchange Hall (space H01). Detail of western-most booth arcades on south wall. These booths have been converted into an electrical substation. The panelled timber and glazed partitions appear to be a reconstruction of the original design.



Photo 3.67: Interior, Exchange Hall (space H01). View of west wall. Note the altered central arch with introduced aluminium framed and glazed partition with double doors.



Photo 3.68: Interior, Exchange Hall (space H01). View of north-west corner showing introduced timber shelving over the round arched window on the west wall.

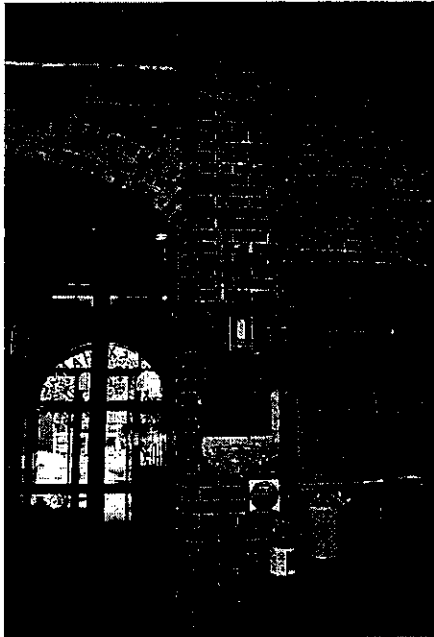


Photo 3.69: Interior, Exchange Hall (space H01).
Detail of altered central archway on west wall.

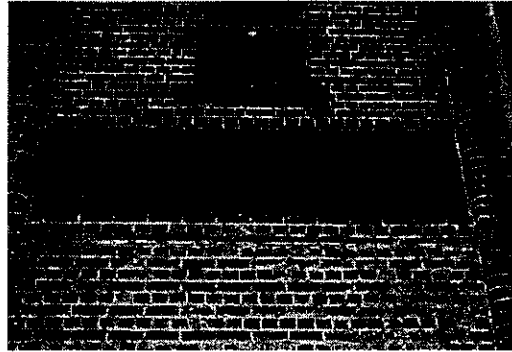


Photo 3.70: Interior, Exchange Hall (space H01).
Detail of early signage below first floor window on west wall (north end).

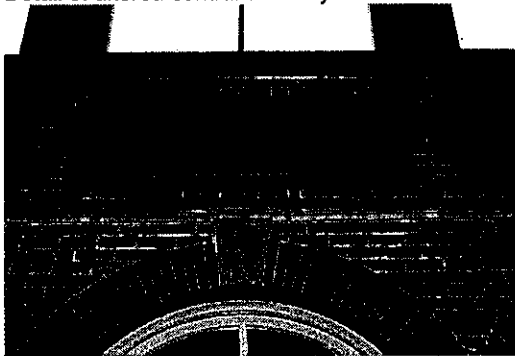


Photo 3.71: Interior, Exchange Hall (space H01).
Detail of incised panel and early signage above booth arcade on south wall.

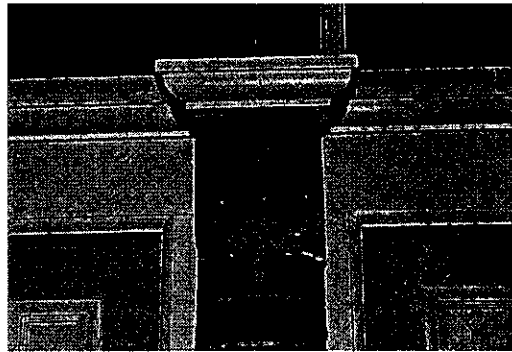


Photo 3.72: Interior, Exchange Hall (space H01).
Detail of introduced plywood capital to pier on north wall.

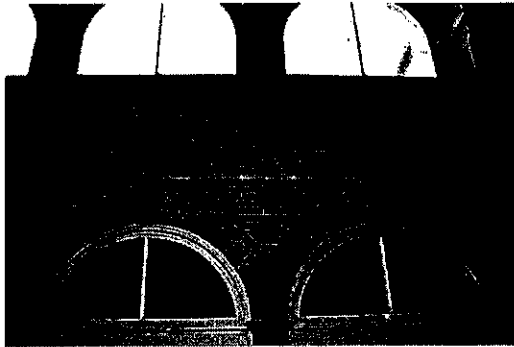


Photo 3.73: Interior, Exchange Hall (space H01). Detail of incised panels and early signage above the booth arcades (now electrical substation) on the south wall (west end).



Photo 3.74: Interior, Booth (space B04). Note recycled timber floor boards, but the replastered walls and plaster wall vent are original.

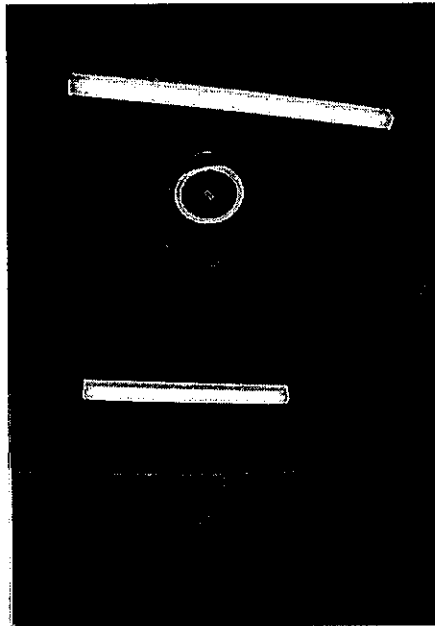


Photo 3.75: Interior, Ladies' Toilets (space B08a). Detail of introduced (but appropriate) stained beaded edged timber lined ceiling. Note the early ceiling ventilation opening with bolection mould frame and galvanised hood punctuated by the electrical fan.

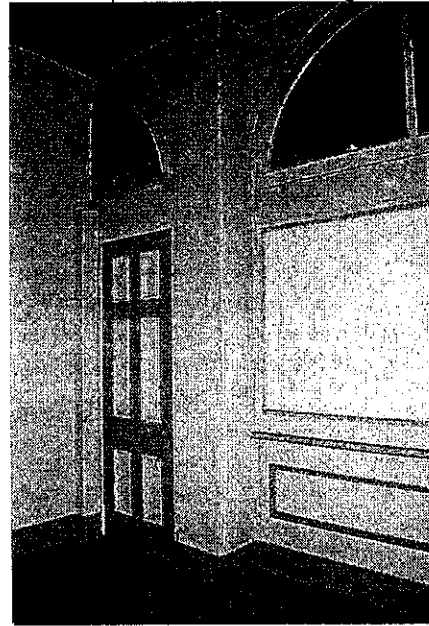


Photo 3.76: Interior, Ladies' Toilets (space B08a). View looking south-east showing introduced panelled timber and glazed arcade partition and appropriate six panelled timber door.

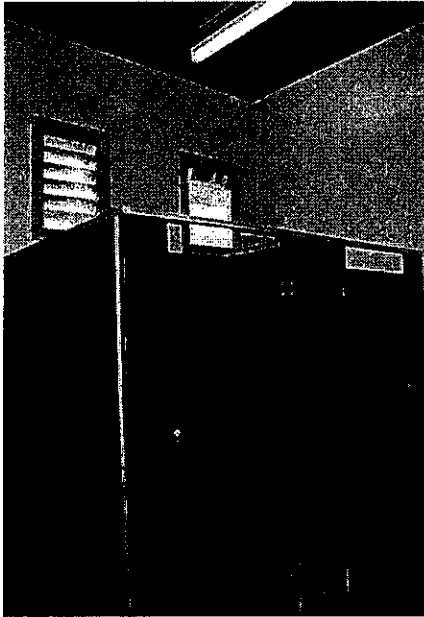


Photo 3.77: Interior, Ladies' Toilets (space B08a). Detail of introduced toilet cubicles and windows (in the background).

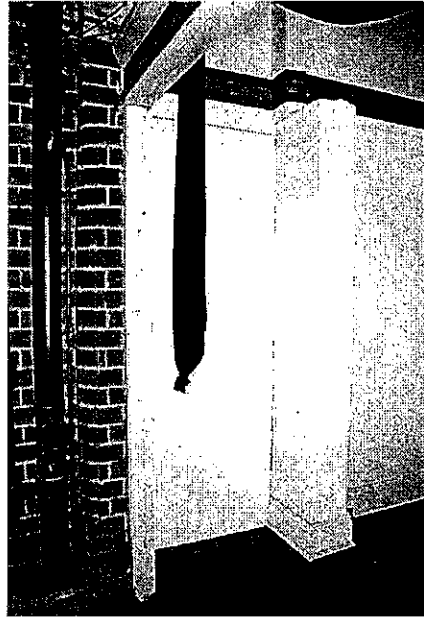


Photo 3.78: Interior, Booth (space B01). Detail of projecting wall nib, and blocked up door opening (west wall).

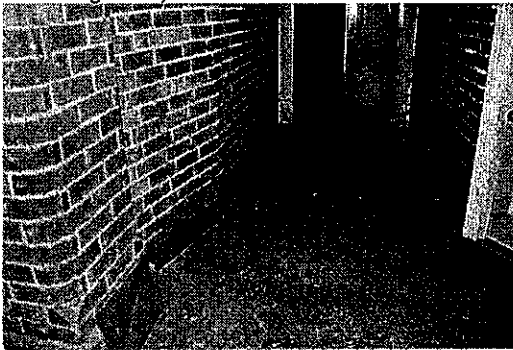


Photo 3.79: Interior, Exchange Hall (space H01). Detail of northern passage to call room showing evidence of rising damp on the lower courses of the brick walls.

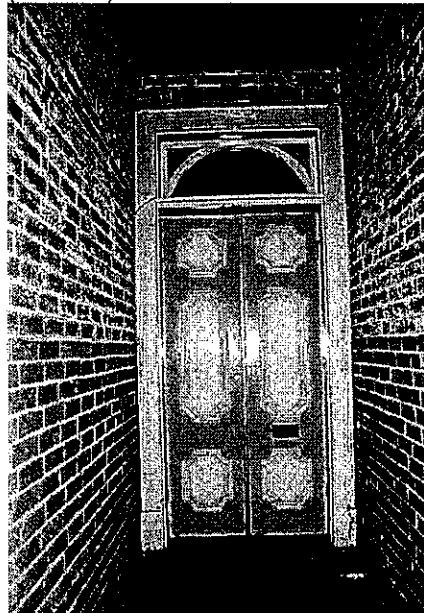


Photo 3.80: Interior, Exchange Hall (space H01). Detail of panellled double timber Call Room doors from the northern passage.

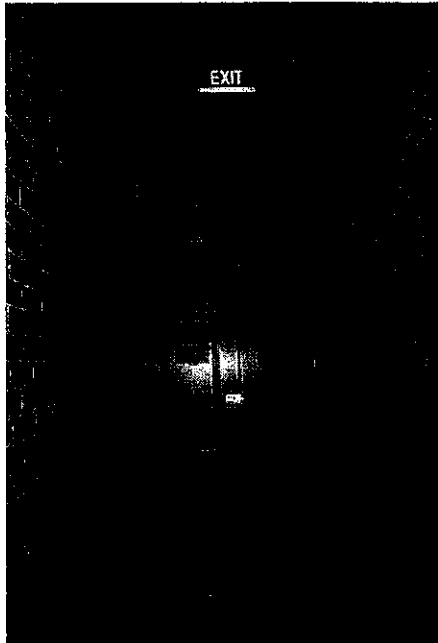


Photo 3.81: Interior, Exchange Hall (space H01). Detail of panelled timber double doors in rear passage forming eastern exit. Note the introduced door frame (especially evidence above the timber framing of the transom window which does not follow the curve of the original shallow arch).

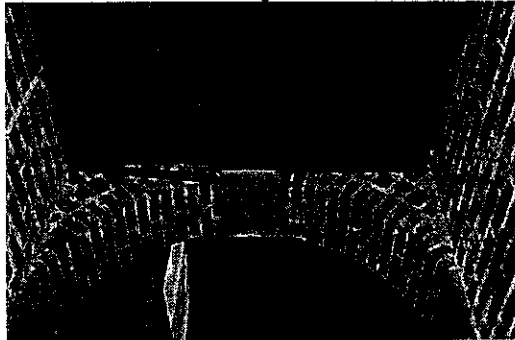


Photo 3.83: Interior, Exchange Hall (space H01). Detail of loose timber quad ceiling cornice on west end of rear eastern exit passage.

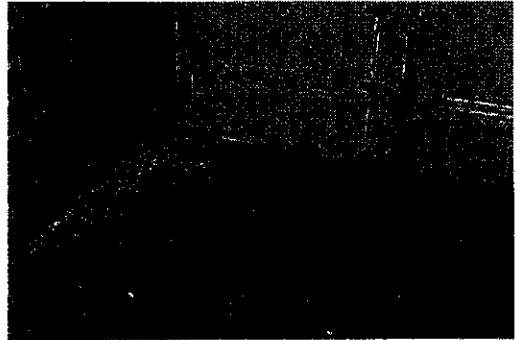


Photo 3.82: Interior, Exchange Hall (space H01). Detail of dampness under door opening and evidence of rising damp on the lower courses of the northern brickwork. The powdery nature of the mortar has left a residue on the floor.

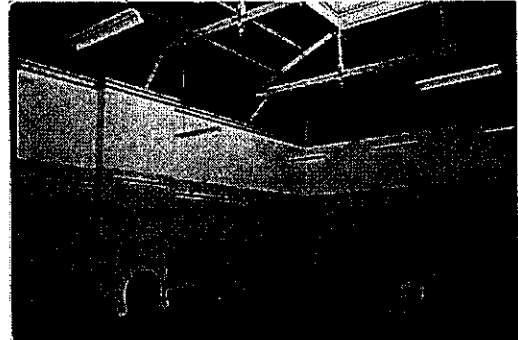


Photo 3.84: Interior, Call Room (space CR01). View looking north-east showing large covered timber lined ceiling with Queen Post trusses and lantern light, and the central fireplace on the north wall.

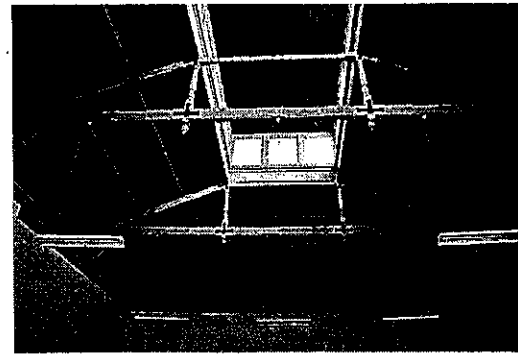
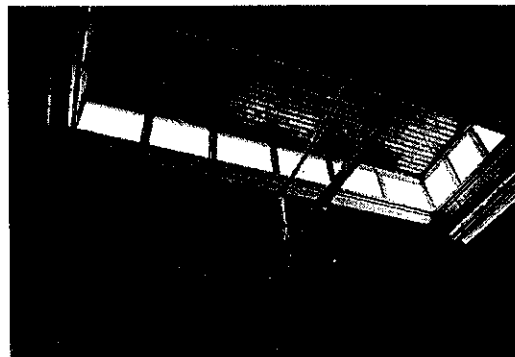


Photo 3.85: Interior, Call Room (space CR01). Detail of lantern light and Queen Post trusses.

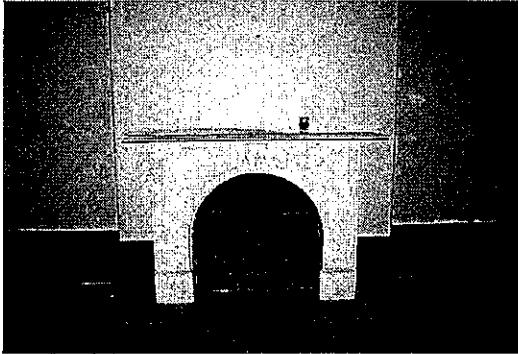


Photo 3.86: Interior, Call Room (space CR01). Detail of coved ceiling, Queen Post trusses and lantern light, looking east. Note the evidence of falling damp on the east wall, south end.



Photo 3.87: Interior, Call Room (space CR01). Fireplace detail.

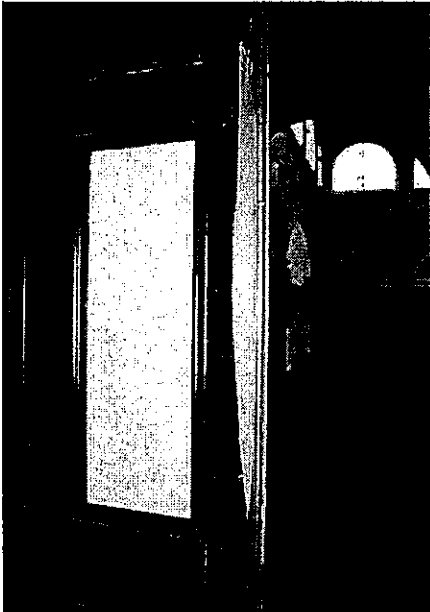


Photo 3.88: Interior, Call Room (space CR01). Detail of altered original three panelled timber double doors on south wall.

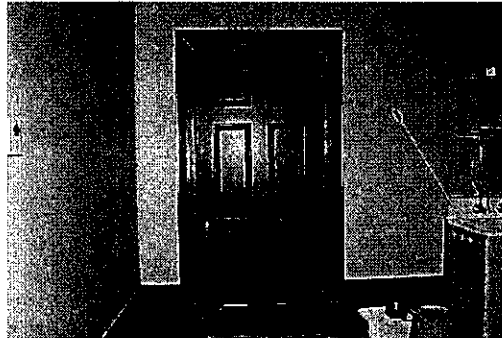
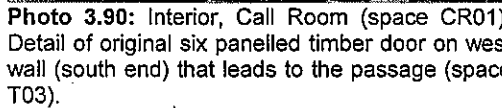
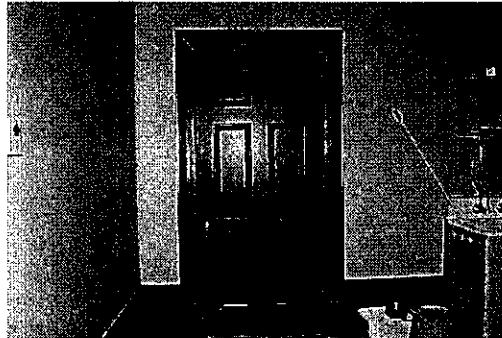


Photo 3.89: Interior, Call Room (space CR01). Detail of damaged door, showing fractured timber edge.

Photo 3.90: Interior, Call Room (space CR01). Detail of original six panelled timber door on west wall (south end) that leads to the passage (space T03).



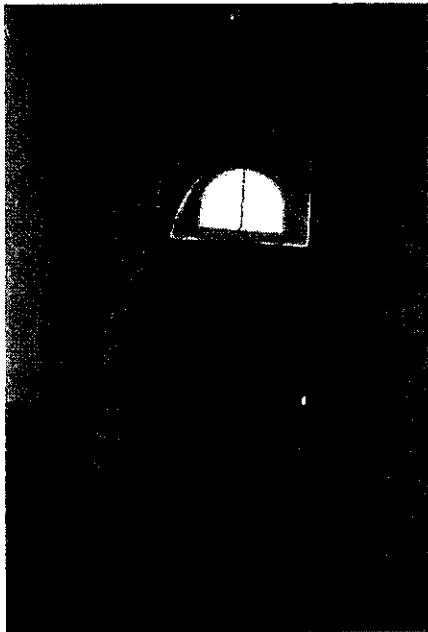


Photo 3.91: Interior, Passage (space T03). Note original brick walls (now painted) and six panelled timber door. The door appears to reveal an original/early colours scheme.

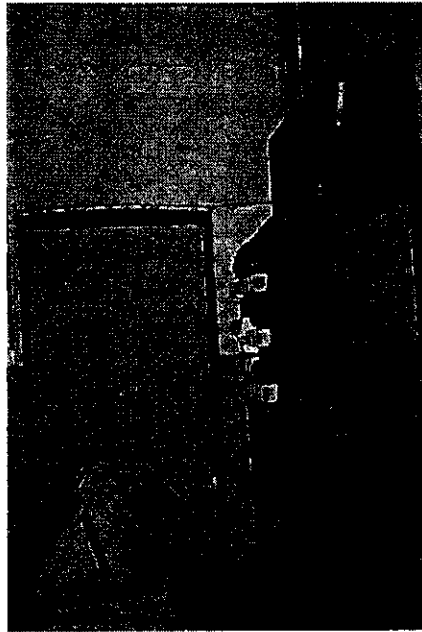


Photo 3.92: Interior, Passage (space T03). Note original six panelled timber door on north wall that leads to the Call Room (space CR01).

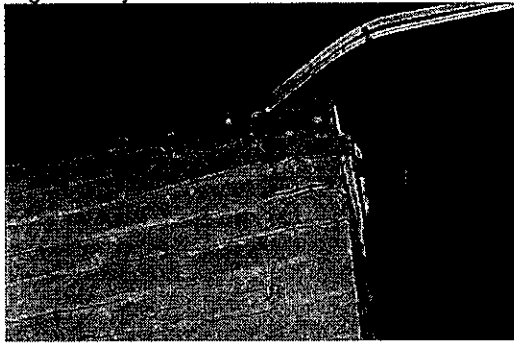


Photo 3.93: Interior, Passage (space T03). Detail of introduced electrical conduit that has inappropriately damaged the brick wall above the door into the office (space T02).



Photo 3.94: Interior, Passage (space T03). View looking north to Men's Toilet (space T01). Note the original timber framed doorway with transom window above, and the moulded timber architraves. Also note the concrete floor and evidence of dampness.

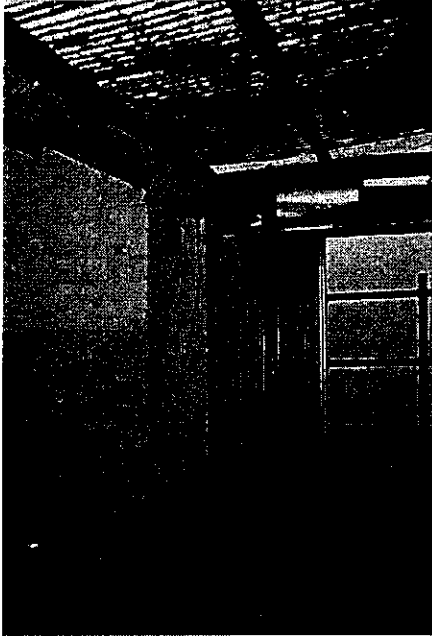


Photo 3.95: Interior, Men's Toilets (space T01). View looking north-west from south-east doorway. Note the introduced skillion roof and overgrown creeper. Also note the introduced timber framed corrugated galvanised iron temporary northern wall partition and the ponding water as a result of the introduced raised concrete slab to the north of the corrugated partition. The previous third (northern cubicle) was situated beyond the galvanised corrugated iron partition.

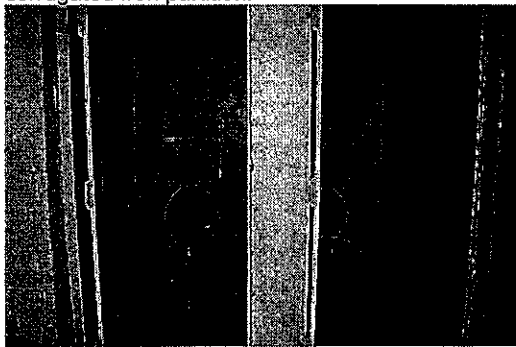


Photo 3.97: Interior, Men's Toilets (space T01). Detail of remaining toilet cubicles. The third cubicle (which was situated to the right of the photo) has been demolished.

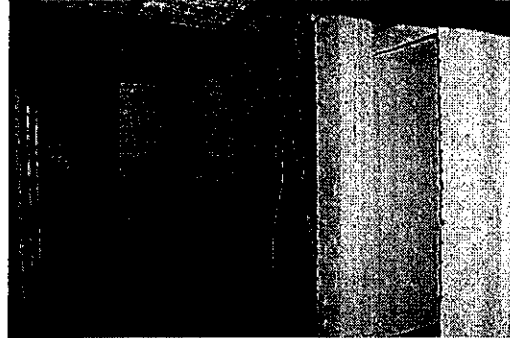


Photo 3.96: Interior, Men's Toilets (space T01). View looking south-west from northern partition. Note the substantial deterioration in the roof structure and brick walls, and the overgrown creeper. Also note the original doorway (in background) with the four panelled timber door.

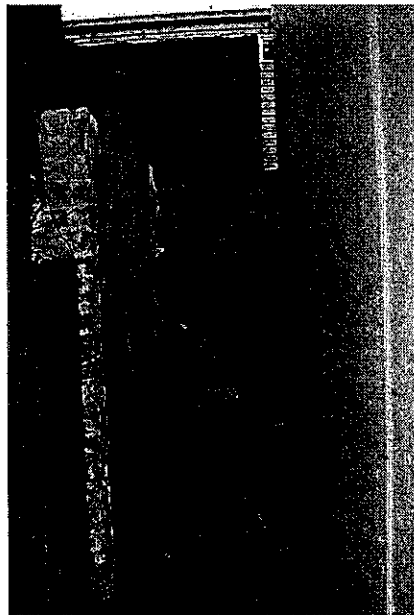


Photo 3.98: Interior, Men's Toilets (space T01). View showing area of demolished toilet cubicle (northern end of toilets). Note the damage to the west brick wall, introduced boundary wall of the new University of Ballarat building.



Photo 3.99: Interior, Men's Toilets (space T01). Detail of area of demolished toilet cubicle. Note the introduced raised concrete slab and the build up of debris within this open space.

8.04 Comparative Analysis Figures



Figure 4.01: Old Mining Exchange Hall (now Mechanics Institute Library), Sturt Street. Source: Jacobs & Rowe, 'Ballarat Mechanics Institute Conservation Management Plan', 2001.

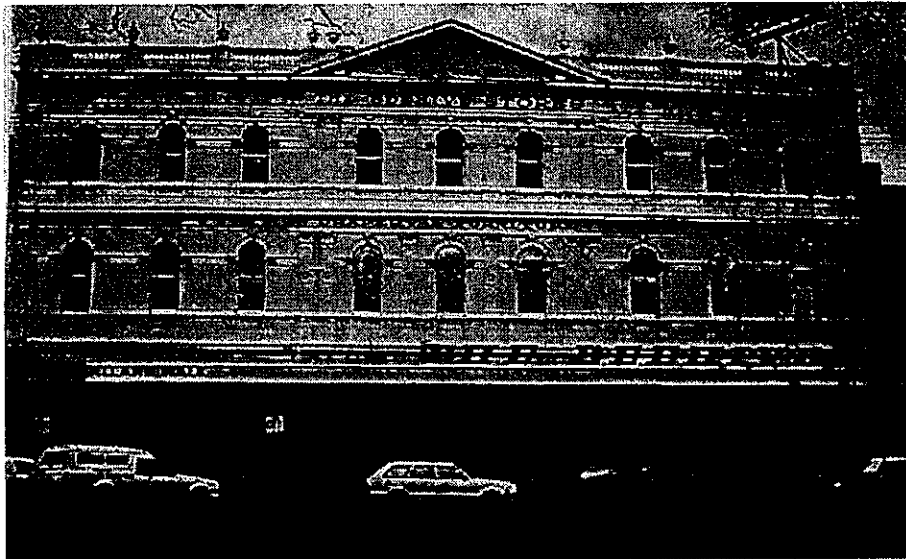


Figure 4.02: Beehive Building Complex, Bendigo, 1864, 1871. Source: Victorian Heritage Register online, H686.



Figure 4.03: Ballarat Mechanics Institute, Sturt Street. Source: Wendy Jacobs 2003.

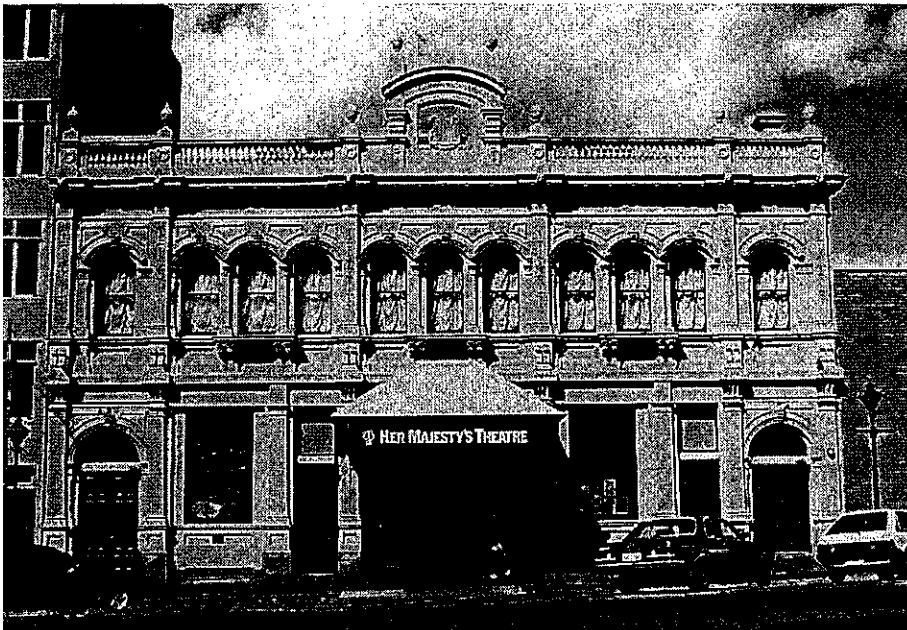


Figure 4.04: Her Majesty's Theatre, Lydiard Street South, Ballarat. Source: Wendy Jacobs 2003.

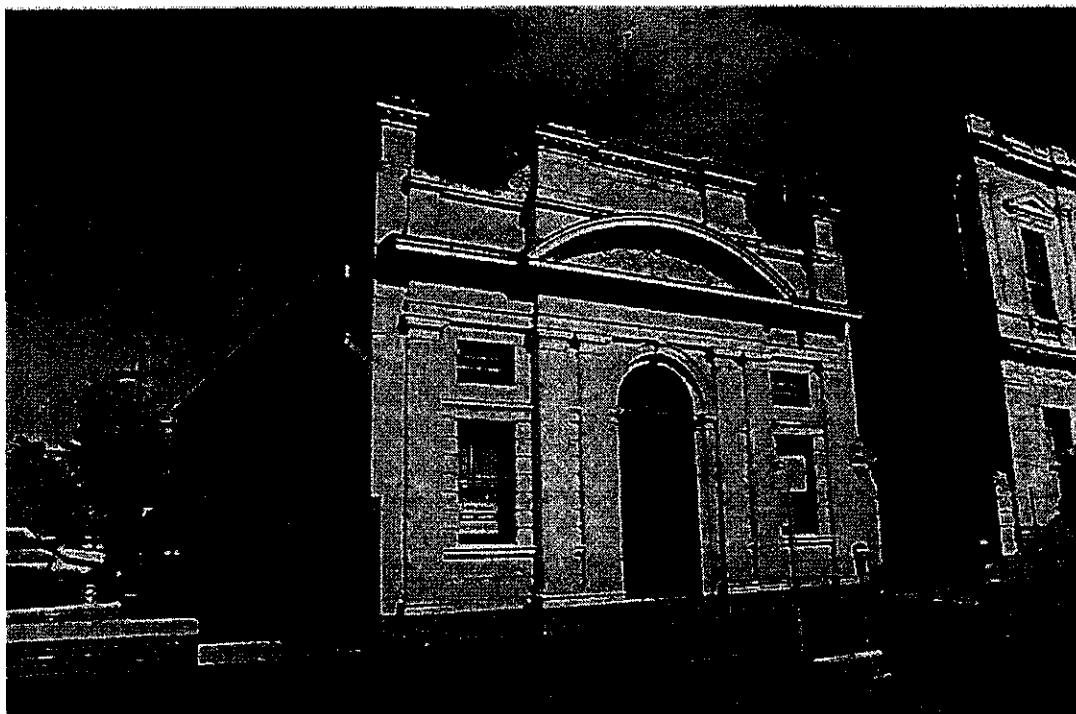


Figure 4.05: Former Protestant Hall, Grenville Street. Source: Jacobs & Rowe, 'Former Ballarat Water Board & Protestant Hall Buildings Conservation Management Plan', 2003.

8.05 Building Schedules

APPENDIX 8.05

BUILDING SCHEDULES

The following Building Schedules form the detailed physical analysis as part of Section 2 in Part 1: Conservation Analysis in the main Report.

These Schedules should be cross-referenced to the Drawings and contemporary photographs which are provided as Appendices 8.01 and 8.03. The historical figures are provided as Appendix 8.02.

The Schedules have been formatted according to the four main components of the Ballarat Mining Exchange complex, namely:

- Front two storey shopfront and office pavilion fronting Lydiard Street;
- Mining Exchange Hall with flanking trading booths;
- Call Room (attached to the north-east corner of the Exchange Hall);
- Former Toilet space, office and passage (attached to the west of the Call Room);

1.0 Building Fabric

1.1 Exterior

1.1.1 **Exterior: Front Pavilion** is predominantly characterised by the following construction and detailing (photos 3.01-3.10):

- Original (1888) two storey height and Victorian Boom Classical styled rectangular form;
- Reconstructed broadly projecting ground floor convex verandah with a central segmented arched canopy (with decorative cast iron infill framed by the name "Mining Exchange" and adorned by a cast iron finial), paired cast iron verandah columns, cast iron brackets and valances, and striped paintwork on the verandah roof (west elevation);
- Original (1888) arcaded ground floor shopfronts having smoothly rusticated and rendered arches supported by smooth rendered piers and pilasters with projecting capital mouldings (west elevation);
- Original (1888) timber framed ground floor shopfront windows within the arches (west elevation);
- Reconstructed ground floor six panelled timber shopfront doors with original (1888) timber framed transom windows above (west elevation);
- Introduced ground floor aluminium framed and glazed shopfront door with original (1888) timber framed transom window above (west elevation);
- Original (1888) large central smoothly rusticated coved ground floor entrance arch with highly elaborate floral relief bands and two reconstructed six panelled timber doors (with round-arched fanlights above) forming its base (west elevation);
- Original/reconstructed ground floor wrought iron entrance gates within coved archway (west elevation);
- Original (1888) three bayed composition of the first floor separated by projecting face brick pilasters with rendered capitals having incised panels (west elevation);

- Original (1888) first floor face brown brick wall construction with rendered dressings (west elevation);
- Original (1888) first floor bays of three timber framed double hung windows adorned with moulded rendered aedicules (west elevation);
- Original (1888) elaborated scrolled pediment surmounting the central first floor window bay (west elevation);
- Original (1888) rendered band of relief panels at the first floor window bases to the central bay (west elevation);
- Original (1888) segmental pediments to the flanking first floor window bays (west elevation);
- Original (1888) rendered balustraded bands at the first floor window bases of the flanking bays (west elevation);
- Original (1888) wide, rendered band with incised panels in the upper reaches of the first floor (west elevation);
- Original (1888) elaborate balustraded parapet with a band of decorative modillions along its base and bays of rendered pedestals with incised panels which support decorative urns (the more centralized urns are more elaborate), and the central small raised segmental pediment which features the title panel with the date "1888" inscribed within it (west elevation);
- Original (1888) face red brick side walls with curved and straight parapets (north and south elevations);
- Original (1888) face brick chimneys with rendered moulded tops (north and south elevations);
- Original (1888) attached hipped roof forms (as a grouping of three) behind the west elevation parapet;
- Introduced but appropriate galvanised corrugated steel roof cladding;

Conservation Comments

- Evidence of water run off causing staining to the upper brickwork on the first floor (due to inadequate parging of the rendered band above the window bay) (west elevation);
- Weathering and damp build up shown on the end flashings to the ground floor verandah (west elevation);
- Evidence of minor cracking in the balustraded bases to the flanking first floor window bays (west elevation);
- Submerged original (1888) subfloor ventilation openings caused by raised pavement level;
- Original (1888) six panelled doors under the springing of the coved entrance arch have been reconstructed. The southern door is shown with a large glazed upper panel in c.1964 (Figure 2.12);
- The upper portions of the round arched shopfront windows have been painted over to conceal the introduced lower ceiling within;
- The fanlight above the single glazed door opening of the café (Space FG01) has been painted over to conceal the introduced lowered ceiling within. There is also an introduced security grill;
- Weathered timber window frames to first floor windows (east elevation);
- Cracked window pane and broken sash cord to first floor window (east elevation, north end);
- Weathered timber window sills to first floor windows (east elevation);

This exterior is in good condition and of **high integrity**. The form, design and details predominantly represent the original 1888 construction.

1.1.2 Exterior: Mining Exchange Hall is predominantly characterised by the following construction and detailing (photos 3.11-3.17):

- Original (1887) raised and curved central roof form;
- Original (1887) sloping roof forms to the north, south and east of the raised and curved roof form;
- Introduced but appropriate galvanised corrugated steel roof cladding;
- Original (1887) face red brick wall construction (north, south and east elevations);
- Original (1887) unpainted bluestone plinth (north, south and east elevations);
- Original (1887) arched clerestory windows with projecting brick buttressing between (north, south and east elevations);
- Original (1887) three panelled double timber doors with timber framed transom window above (east elevation);
- Original (1887) timber framed double hung single windows (east elevation);
- Introduced bank of timber framed double hung windows with timber wall cladding surrounds and introduced steel lintel;
- Original (1887) timber framed clerestory windows (north, south and east elevations);
- Original (1887) rendered cappings to parapet walls (north, south and east elevations);

Conservation Comments

- Weathered timber fascias (elevated roof section) (north, south and east elevations);
- Weathered and loose timber scotia moulds to timber fascias (elevated roof section) (north, south and east elevations);
- Undulating gutters, possibly with inadequate slope (elevated roof section) (north, south and east elevations);
- Debris build up in all gutters (square and box gutters) in the elevated roof section and the lower sloped roof surrounds (north, south and east elevations);
- Build up of organic growth to rendered parapet cappings, sills and gutters (north, south and east elevations);
- Large introduced zincalume roof vent has a zincalume base that appears to be reacting with the galvanised corrugated steel roof cladding (north side of elevated roof section, west end). It is not known whether there is a similar reaction occurring with the introduced ventilation stacks on the south side of the elevated roof section (west end);
- Evidence of lifting and peeling paintwork to round-arched clerestory window frames;
- Evidence of poorly re-rendered parapet capping to east elevation;
- Evidence of substantial rust deterioration to the introduced steel lintel above the introduced bank of timber framed double hung windows (east elevation);
- Damaged wall ventilation openings allow vermin ingress (south elevation);

- Evidence of some deteriorated bricks (south elevation);
- Evidence of previously abutting structure (outline of the former lunch room for Post Office staff – now removed);
- Spalled render to parapet capping (north elevation - where exposed to the end of the rear lane/right of way);
- Leaking gas metre (north elevation – where exposed to the end of the rear lane/right of way);
- Damp build up about downpipe near ladies toilet windows (north elevation – where exposed to the end of the rear lane/right of way);
- Two introduced ladies toilet windows with altered brickwork and new mortar joints above and below and at the sides of the windows;
- Weathered ladies toilet timber window frames;

This exterior is in good condition and of **high integrity**. The form, design and details predominantly represent the original 1888 construction.

1.1.3 Exterior: Call Room is predominantly characterised by the following construction and detailing (photos 3.18a-3.18c):

- Original (1888) elevated height and rectangular form;
- Original (1888) face red brick parapetted wall construction;
- Original (1888) rendered cappings to the parapet walls;
- Original (1888) hipped roof form with an elongated lantern light having a curved roof;
- Introduced but appropriate galvanised corrugated steel roof cladding;
- Introduced enclosure of parts of the north and east walls (with abutting glazed roofs) as part of the recent University of Ballarat building;

Conservation Comments

- Deteriorated window framing to the lantern light (south elevation);
- Introduced corrugated acrylic sheeting fixed to the north, east and west elevations of the lantern light;
- Organic growth build up on rendered parapet cappings;
- Possible debris build up in gutters and flashing junctions of roof and east parapet. Evidence of leakage and overflowing causing internal damp;

This exterior is in fair-good condition and of **high integrity**. The form, design and details predominantly represent the original 1888 construction.

1.1.3 Exterior: Toilet & Office Wing is predominantly characterised by the following construction and detailing (photos 3.19-3.26):

- Early face brick parapetted wall construction (west elevation);
- Early rendered capping to parapet (west elevation);
- Early timber framed double hung window (west elevation);
- Early six panelled timber door with timber framed transom window above (west elevation);
- Early bluestone window sill (west elevation);

Conservation Comments

- Spalled render to parapet cap (west elevation);
- Deteriorated timber window frames and sash;

- Organic growth over bluestone window sill (west elevation);
- Evidence of brick deterioration on west wall;
- Severely weathered north-west corner of brickwork (west elevation) and poor repointing;
- Demolition of part of north wall of northern toilet cubicle;
- Substantial deterioration of toilet windows (west elevation);
- Introduced raised concrete slab about northern area of toilets;
- Introduced timber and galvanised corrugated steel partition (north elevation). This partition is not recent, and appears to have been in place for some years;

1.2 Interior

1.2.1 Front Pavilion

A. **Space FG01 (Cafe)** has largely been altered and there is no fabric remaining, apart from :

- perimeter walls;
- external timber framed round arched shopfront windows;
- reconstructed six panel door (corner);

Conservation Comments

- Introduced lowered plaster sheet ceiling. The original ceiling may be extant above the introduced ceiling;

This space is in good condition and of **low integrity**. Apart from the very small proportion of original fabric listed above, this space has been considerably altered;

B. **Space FG02 (Rear Store Room)** was not accessible. Assume space is of **moderate-high integrity**.

C. **Space FG03a (Shop)** is predominantly characterised by the following construction and detailing (Photos 3.27-3.29):

- Original (1888) stained beaded edged timber lining board ceiling with scotia mould cornice;
- Hard plaster walls;
- Original (1888) moulded timber skirting boards (medium height);
- Original (1888) timber floor boards with introduced carpet over;
- Original (1888) moulded timber window and door architraves;
- Reconstructed original (1888) six panel timber exterior door;
- Original (1888) window staff moulds;
- Original (1888) timber framed round arched shopfront window;

Conservation Comments

- Altered original (1888) four panel door to three panel door having a one large glazed upper panel;
- Introduced display cabinet on three walls;

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

D. **Space FG03b (Room behind Shop)**

- Original (1888) stained beaded edged timber lining board ceiling with scotia mould cornice;
- Hard plaster walls;

- Original (1888) moulded timber skirting boards (medium height);
- Original (1888) timber floor boards with introduced carpet over;
- Original (1888) moulded timber window and door architraves;
- Altered original (1888) timber framed round arched double hung window with introduced frosted glazing;
- Altered original panelled timber doors with introduced glazing;

This space is in good condition and of **moderate integrity**. Apart from some alterations, there are details that represent the original 1888 construction.

E. Space FG04a (Shop) is predominantly characterised by the following construction and detailing:

- Original (1888) beaded edged timber lining board ceiling with introduced finish;
- Hard plaster walls;
- Early (c.1900) timber framed wall screen with stop chamfered corners and patterned white glazing and blue and red coloured glass;
- Original (1888) moulded timber skirtings (medium height);
- Original (1888) timber floor boards with introduced carpet over;
- Original (1888) round arched timber framed shopfront window;
- Reconstructed original (1888) six panel timber exterior door;

This space is in good condition and of moderate-high integrity. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities.

F. Space FG04b (Shop) is predominantly characterised by the following construction and detailing:

- Original (1888) beaded edged timber lining board ceiling with introduced finish;
- Hard plaster walls;
- Early (c.1900) timber framed wall screen with stop chamfered corners and patterned white glazing and blue and red coloured glass;
- Original (1888) moulded timber skirtings (medium height);
- Original (1888) timber floor boards with introduced carpet over;
- Original (1888) moulded timber window architraves;
- Original (1888) timber framed double hung window with introduced security grill. The window is also now blocked up;
- Original (1888) Chubb Security Vault – has the date 1888 on the front door;
- Original (1888) small round arched door opening on north wall (east end) that provides access into the entrance lobby/stair hall (space FG05);

This space is in good condition and of moderate-high integrity. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities.

G. Space FG05 (Entrance Lobby) is predominantly characterised by the following construction and detailing (Photos 3.30-3.37):

- Original (1888) lath and plaster ceiling;
- Original (1888) plaster ovolo cornice;
- Hard plaster walls;

- Original (1888) rendered skirtings;
- Introduced asphalt floor surface with introduced carpet over;
- Original (1888) round arched timber framed double hung window with bluestone sill;
- Original (1888) six panelled timber door on south wall (west side of stairs);
- Early altered four panelled timber door on north wall (opposite stairs);
- Original (1888) timber framed round arched transom windows to door openings;
- Introduced aluminium framed and glazed doors and wall partitions (east and west walls);
- Original (1888) timber staircase with elaborate timber balusters;
- Original (1888) [?] ceiling access hatch with moulded timber architraves;

Conservation Comments

- Evidence of minor ceiling cracking;
- Evidence of blocked up original round arched window on north wall. The original bluestone window sill is still extant;
- Evidence of blocked up single door opening with round-arched transom on north wall;
- The panelled timber doors have been altered. The north door has an introduced glazing in the upper right panel. The south door has introduced frosted glazing in the upper two panels;
- The double hung window has been altered. It has introduced frosted glazing;
- Blocked up and partially altered transom window on south wall (east of stairs) with introduced electrical box;
- Introduced terra cotta wall vents (north wall);
- Evidence of original bluestone flag floor under the carpet and asphalt surface (immediately east of the stairs);
- Evidence of minor falling damp on the north wall, upper north-east corner. This may be caused by condensation from steam and warm air entering this space through the introduced terra cotta walls vents on the north wall (from the café);
- Introduced exposed electrical conduit;

This space is in good condition and of moderate-high integrity. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities.

H. **Spaces FF01-02 (Office)** are predominantly characterised by the following construction and detailing (Photos 3.44-3.46):

- Introduced strapped sheet ceiling;
- Original (1888) hard plaster and lath and plaster walls;
- Original (1888) or reconstructed moulded timber skirtings;
- Original (1888) timber floor boards with introduced carpet over;
- Original (1888) timber framed double hung windows (east wall);
- Original (1888) four panelled timber doors;
- Original (1888) moulded timber window and door architraves;
- Two original (1888) skylights;

Conservation Comments

- Introduced timber framing with arched head to the upper sash of the east window;
- Evidence of possible falling damp in upper north wall of Space FF02;
- Introduced exposed electrical or telephone conduits;
- Evidence of introduced plastering over original lath and plaster walls;
- Introduced brass handles (in incorrect position) to panelled doors;
- Introduced acrylic sheeting over skylights;

This space is in good condition and of moderate-high integrity. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities.

I. Space FF03 (Kitchen and Toilets) is predominantly characterised by the following construction and detailing (Photo 3.47):

- Introduced lowered plaster sheet ceiling;
- Original (1888) hard plaster north wall;
- Original (1888) lath and plaster south and west walls;
- Introduced plaster sheet east wall;
- Original (1888) timber floor boards with introduced linoleum over;
- Introduced plaster sheet toilet wall partitions and flush panel doors;
- Original (1888) timber framed double hung window (east wall);
- Introduced kitchen sink;
- Introduced toilets and services;

This space is in good condition and of **low integrity**. Apart from the very small proportion of original fabric listed above, this space has been considerably altered.

J. Spaces FF04-05 (Offices) are predominantly characterised by the following construction and detailing (photos 3.48-3.52):

- Introduced strapped sheet ceilings;
- Original (1888) ceiling ventilation opening and galvanised hood with bolection moulding surround;
- Original (1888) hard plaster and lath and plaster walls;
- Original (1888) and introduced moulded timber skirtings (medium height);
- Original (1888) timber floor boards with introduced carpet over;
- Original (1888) timber framed two paned double hung windows;
- Original (1888) moulded timber window and door architraves;
- Original (1888) four panelled timber doors with transom windows over east doors;
- Altered original (1888) round-arched fireplace and projecting chimney breast with staff moulds (north wall);
- Introduced pendant light fittings;
- Introduced heating units on wall;

Conservation Comments

- Introduced brass handles to panelled doors;
- Large introduced wall opening between spaces FF04 and ff05;
- Missing mantel to fireplace;

- Introduced exposed electrical conduit (north-west corner and over skirtings);

This space is in good condition and of moderate-high integrity. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities.

K. Space FF06 (Office) is predominantly characterised by the following construction and detailing (Photo 3.53):

- Introduced strapped sheet ceilings;
- Original (1888) ceiling ventilation opening and galvanised hood with bolection moulding surround;
- Original (1888) hard plaster and lath and plaster walls;
- Original (1888) and introduced moulded timber skirtings (medium height);
- Original (1888) timber floor boards with introduced carpet over;
- Original (1888) timber framed two paned double hung window surmounted by a semi-circular window;
- Original (1888) moulded timber window and door architraves;
- Original (1888) four panelled timber doors with transom windows over east door;
- Introduced pendant light fittings;
- Introduced heating units on wall;

Conservation Comments

- Introduced brass handles to panelled doors;
- Introduced exposed electrical conduit (north-west corner and over skirtings);

This space is in good condition and of moderate-high integrity. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities.

L. Space FF07 (Office) is predominantly characterised by the following construction and detailing (Photos 3.57-3.55):

- Introduced strapped sheet ceilings;
- Original (1888) ceiling ventilation opening and galvanised hood with bolection moulding surround;
- Original (1888) hard plaster and lath and plaster walls;
- Original (1888) and introduced moulded timber skirtings (medium height);
- Original (1888) timber floor boards with introduced carpet over;
- Original (1888) timber framed two paned double hung windows;
- Original (1888) moulded timber window and door architraves;
- Original (1888) four panelled timber doors with transom windows above;
- Introduced pendant light fittings;
- Introduced heating units on wall;

Conservation Comments

- Introduced brass handles to panelled doors;
- Introduced exposed electrical conduit (north-west corner and over skirtings);

This space is in good condition and of moderate-high integrity. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities.

M. Space FF08 (Office) was not accessible. Assume the same as space FF07, being of **moderate-high integrity**.

N. Space FF09 (Office) is predominantly characterised by the following construction and detailing (Photo 3.56):

- Introduced strapped sheet ceilings;
- Original (1888) ceiling ventilation opening and galvanised hood with bolection moulding surround;
- Original (1888) hard plaster and lath and plaster walls;
- Original (1888) and introduced moulded timber skirtings (medium height);
- Original (1888) timber floor boards with introduced carpet over;
- Original (1888) timber framed two paned double hung window;
- Original (1888) moulded timber window and door architraves;
- Original (1888) four panelled timber doors with transom window above
- Introduced pendant light fittings;
- Introduced heating unit on wall;

Conservation Comments

- Introduced brass handles to panelled doors;
- Introduced exposed electrical conduit (north-west corner and over skirtings);

This space is in good condition and of moderate-high integrity. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities.

O. Space FF10 (Office) is predominantly characterised by the following construction and detailing:

- Introduced strapped sheet ceilings;
- Original (1888) ceiling ventilation opening and galvanised hood with bolection moulding surround;
- Early skylight;
- Original (1888) lath and plaster walls;
- Original (1888) and introduced moulded timber skirtings (medium height);
- Original (1888) timber floor boards with introduced carpet over;
- Original (1888) timber framed two paned double hung window;
- Original (1888) moulded timber window and door architraves;
- Original (1888) four panelled timber door with transom window above;
- Introduced pendant light fittings;
- Introduced heating unit on wall;

Conservation Comments

- Introduced brass handles to panelled doors;
- Introduced exposed electrical conduit (north-west corner and over skirtings);

- Some evidence of movement of the brick arches to the booths as shown in the openings between the infill partitions and fanlights, and the brickwork;
- Evidence of some delamination of render in the two western-most signage panels on the south wall (possibly resulting from former roof leakages now resolved);
- Evidence of rising damp on concrete drainage sump (north-west corner);
- Evidence of previous falling damp in timber lined ceiling in the stained and stressed timber boards (northern passage to call room);
- Evidence of rising damp on lower reaches of brickwork (northern passage to call room);
- Evidence of early chain device across door opening into call room (northern passage to call room);
- Introduced painted glazing in middle panels of call room doors (northern passage to call room);
- Boarded over ceiling vent with beaded edged lining boards (rear eastern exit passage);
- Evidence of falling damp (shown in the staining and stressing of ceiling boards at east end, possibly caused by water build up in box gutter behind east parapet (rear eastern exit passage);
- Minor cracking in brick wall, east end (rear eastern exit passage);
- Evidence of some rising damp in the deteriorated mortar joints in the lower reaches of the brickwork (the mortar joints are white and powdery) (rear eastern exit passage);
- Loose timber quad ceiling cornice, west end (rear eastern exit passage);
- Pieced-in timber door frame on east wall. The frame for the transom window above is square, which allows a gap between the original shallow-arched brick head and the new frame (rear eastern exit passage);

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

B. Space B01 (Booth) is predominantly characterised by the following construction and detailing (Photo 3.78):

- Original (1888) beaded edged timber lining board ceiling with scotia mould cornice;
- Original (1888) ceiling ventilation opening with galvanised hood and timber bolection moulding;
- Hard plaster walls;
- Introduced plain timber picture rails;
- Introduced stained timber floor boards;
- Original (1888) plaster wall vent (north wall);
- Original (1888) timber framed round-arched two paned hopper sash fanlight;
- Original (1888) timber wall partition stiles below fanlight;

Conservation Comments

- Timber lined ceiling covered with introduced fabric;

- Exposed painted brickwork and hard plaster lined wall nib (west wall), indicating evidence of previous door opening with transom window and moulding above;
- Hinge marks on both sides of arched opening (west wall) indicating new doors;
- Introduced holes in skirtings for subfloor ventilation;
- Missing panelled timber and glazed partition and panelled door (south end);

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

C. Space B02 (Booth) is predominantly characterised by the following construction and detailing:

- Exposed roof space with introduced fabric;
- Hard plaster walls;
- Introduced moulded timber skirtings (low height);
- Introduced moulded timber picture rails;
- Recycled timber floor boards (partially stained);
- Original (1888) timber framed round-arched two paned hopper sash fanlight;
- Introduced timber wall partition stiles below fanlight (vertical members only);
- Original (1888) plaster wall vent (north wall);

Conservation Comments

- Missing beaded edged timber lined ceiling, scotia mould cornice, ceiling ventilation opening with bolection moulded frame and galvanised hood;
- Introduced holes in skirtings for subfloor ventilation;
- Missing panelled timber and glazed partition and panelled door (south end);
- Paint marks on timber floor;

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

D. Space B03 (Booth) is predominantly characterised by the following construction and detailing:

- Exposed roof space with introduced fabric;
- Hard plaster walls;
- Introduced moulded timber skirtings (low height);
- Introduced moulded timber picture rails;
- Introduced unstained timber floor boards;
- Original (1888) timber framed round-arched two paned hopper sash fanlight;
- Introduced timber wall partition stiles below fanlight. (vertical members only);
- Original (1888) horizontal member as part of the framing below fanlight;
- Original (1888) plaster wall vent (north wall);

Conservation Comments

- Missing beaded edged timber lined ceiling, scotia mould cornice, ceiling ventilation opening with bolection moulded frame and galvanised hood;
- Introduced holes in skirtings for subfloor ventilation;
- Missing panelled timber and glazed partition and panelled door (south end);
- Hole in asphalt surface outside booth;

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

E. Space B04 (Booth) is predominantly characterised by the following construction and detailing (Photo 3.74):

- Exposed roof space with introduced fabric;
- Hard plaster walls;
- Introduced moulded timber skirtings (low height);
- Introduced bracketed timber picture rails;
- Introduced/recycled and appropriate timber floor boards;
- Original (1888) timber framed round-arched two paned hopper sash fanlight;
- Introduced timber wall partition stiles below fanlight (vertical members only);
- Original (1888) horizontal member as part of the framing below fanlight;
- Original (1888) plaster wall vent (north wall);

Conservation Comments

- Missing beaded edged timber lined ceiling, scotia mould cornice, ceiling ventilation opening with bolection moulded frame and galvanised hood;
- Introduced holes in skirtings for subfloor ventilation;
- Missing panelled timber and glazed partition and panelled door (south end);

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

F. Space B05 (Booth) is predominantly characterised by the following construction and detailing:

- Exposed roof space with introduced fabric;
- Hard plaster walls;
- Introduced moulded timber skirtings (low height);
- Introduced timber picture rails;
- Introduced unstained timber floor boards (of varying widths);
- Original (1888) timber framed round-arched two paned hopper sash fanlight;
- Introduced timber wall partition stiles below fanlight;
- Original (1888) horizontal member as part of the framing below fanlight;
- Original (1888) plaster wall vent (north wall);

Conservation Comments

- Missing beaded edged timber lined ceiling, scotia mould cornice, ceiling ventilation opening with bolection moulded frame and galvanised hood;
- Introduced holes in skirtings for subfloor ventilation;
- Missing panelled timber and glazed partition and panelled door (south end);

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

G. Space B06 (Booth) is predominantly characterised by the following construction and detailing:

- Exposed roof space with introduced fabric;
- Hard plaster walls;
- Introduced moulded timber skirtings (low height);
- Introduced moulded timber picture rails;
- Introduced unstained timber floor boards;
- Original (1888) timber framed round-arched two paned hopper sash fanlight;
- Introduced timber wall partition stiles below fanlight;
- Original (1888) horizontal member as part of the framing below fanlight;
- Original (1888) plaster wall vent (north wall);

Conservation Comments

- Missing beaded edged timber lined ceiling, scotia mould cornice, ceiling ventilation opening with bolection moulded frame and galvanised hood;
- Introduced holes in skirtings for subfloor ventilation;
- Missing panelled timber and glazed partition and panelled door (south end);

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

H. Space B07 (Booth) is predominantly characterised by the following construction and detailing:

- Exposed roof space with introduced fabric;
- Hard plaster walls;
- Introduced moulded timber skirtings (low height);
- Introduced moulded timber picture rails;
- Introduced unstained timber floor boards;
- Original (1888) timber framed round-arched two paned hopper sash fanlight;
- Introduced timber wall partition stiles below fanlight (vertical and horizontal members);
- Original (1888) plaster wall vent (north wall);

Conservation Comments

- Missing beaded edged timber lined ceiling, scotia mould cornice, ceiling ventilation opening with bolection moulded frame and galvanised hood;
- Introduced holes in skirtings for subfloor ventilation;

- Missing panelled timber and glazed partition and panelled door (south-end);

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

I. Space B08 (Booth) is predominantly characterised by the following construction and detailing:

- Exposed roof space covered with introduced fabric;
- Hard plaster walls;
- Introduced moulded timber skirtings (low height);
- Introduced moulded timber picture rails;
- Introduced unstained timber floor boards;
- Original (1888) timber framed round-arched two paned hopper sash fanlight;
- Introduced timber wall partition stiles below fanlight (vertical and horizontal members);
- Original (1888) plaster wall vent (north wall);
- Early moulded timber door architrave (east wall);
- Early four panelled timber door (east wall);

Conservation Comments

- Missing beaded edged timber lined ceiling, scotia mould cornice, ceiling ventilation opening with bolection moulded frame and galvanised hood;
- Introduced holes in skirtings for subfloor ventilation;
- Missing panelled timber and glazed partition and panelled door (south end);
- Horizontal hairline wall crack;
- Introduced Tobin ventilation tube in north-east corner;
- Holes in asphalt floor surface of hall abutting booth;

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

J. Space B08a (Ladies Toilets) is predominantly characterised by the following construction and detailing (Photos 3.75-3.77):

- Introduced and appropriate stained beaded edged timber lining board ceiling with scotia mould cornice;
- Early ceiling ventilation opening with bolection moulded frame and galvanised hood;
- Hard plaster walls (north, east and west);
- Introduced and appropriate timber framed panelled timber and glazed partition wall with six panelled timber door;
- Introduced moulded timber skirtings (low height);
- Introduced timber floor boards with introduced linoleum over;
- Original (1888) timber framed round-arched two paned hopper sash fanlight;
- Altered door opening and battened over door on west wall;
- Introduced toilet cubicles with lightweight partitions;
- Introduced toilet fittings and fixtures (closets, basins and associated fixtures);

- Introduced timber framed toilet window with glazed louvres (north wall);
 - Introduced ceiling access cover with bolection moulded frame;
- This space is in good condition and of **moderate integrity**. Apart from some alterations, there are details that represent the original 1888 construction.

K. Space B08b (Men's Toilets) is predominantly characterised by the following construction and detailing:

- Introduced and appropriate stained beaded edged timber lining board ceiling with scotia mould cornice;
- Early stained ceiling ventilation opening with stained bolection moulded frame and galvanised hood;
- Hard plaster walls (north, east and west);
- Introduced and appropriate timber framed panelled timber and glazed partition wall with six panelled timber door;
- Introduced moulded timber skirtings (low height);
- Introduced timber floor boards with introduced linoleum over;
- Original (1888) timber framed round-arched two paned hopper sash fanlight;
- Altered door opening and battened over door on west wall;
- Introduced toilet cubicles with lightweight partitions;
- Introduced toilet fittings and fixtures (closet, urinal, basins and associated fixtures);
- Introduced ceiling access cover with bolection moulded frame;
- Introduced ceiling fan in ceiling ventilation opening;

This space is in good condition and of **moderate integrity**. Apart from some alterations, there are details that represent the original 1888 construction.

L. Space B09 (Booth) is predominantly characterised by the following construction and detailing:

- Original (1888) beaded edged and stained timber lining board ceiling with scotia mould cornice;
- Original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;
- Hard plaster walls;
- Introduced and appropriate timber framed panelled timber and glazed partition wall;
- Introduced moulded timber skirtings (low height);
- Introduced painted timber floor boards;
- Original (1888) timber framed round-arched two paned hopper sash fanlight;
- Introduced floor ventilation opening (south-east corner);
- Introduced suspended fluorescent light fitting;

Conservation Comments

- Missing six panelled timber door to timber and glazed partition wall (south end);
- Hole in plaster wall (west wall);
- Introduced Tobin ventilation tube (north-east corner);

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities.

M. Space B10 (Booth) is predominantly characterised by the following construction and detailing:

- Original (1888) beaded edged and stained timber lining board ceiling with scotia mould cornice;
- Original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;
- Hard plaster walls;
- Introduced and appropriate timber framed panelled timber and glazed partition wall;
- Introduced moulded timber skirtings (low height);
- Introduced painted timber floor boards;
- Original (1888) timber framed round-arched two paned hopper sash fanlight;

Conservation Comments

- Missing six panelled timber door to timber and glazed partition wall (south end);
- Introduced Tobin ventilation tube (north-east corner);

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

N. Space B11 (Booth) is predominantly characterised by the following construction and detailing:

- Original (1888) beaded edged and stained timber lining board ceiling with scotia mould cornice;
- Original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;
- Hard plaster walls (the east wall is dog-legged);
- Introduced and appropriate timber framed panelled timber and glazed partition wall;
- Introduced moulded timber skirtings (low height);
- Introduced moulded timber picture rails on part of west wall;
- Introduced painted timber floor boards;
- Original (1888) timber framed round-arched two paned hopper sash fanlight;
- Original (1888) four panelled timber door with original door furniture (north wall);
- Introduced timber framed fixed glazed window (north wall);
- Introduced suspended fluorescent light fitting;

Conservation Comments

- Missing six panelled timber door to timber and glazed partition wall (south end);
- Holes in walls and narrow reveal in wall formerly housing chased in wiring;

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

O. Space B12 (Store) is predominantly characterised by the following construction and detailing:

- Original (1888) beaded edged and stained timber lining board ceiling with scotia mould cornice;
- Original (1888) ceiling ventilation opening with bolection moulded frame;
- Hard plaster walls;
- Original (1888) moulded timber skirtings (low height);
- Early timber floor boards with introduced linoleum over;
- Original (1888) window opening with early timber framed two paned double hung window (east wall);
- Original (1888) moulded timber window and door architraves (with original skirting blocks to door architraves);
- Original (1888) six panelled timber door with original round-arched fanlight;
- Original (1888) plaster wall vent (east wall);
- Introduced suspended fluorescent lights;

Conservation Comments

- Introduced exposed electrical conduits;
- Possible extant original (1888) galvanised hood above blocked up ceiling vent;
- Introduced fan in ceiling vent;
- Introduced door furniture;
- Blocked up early door opening on south wall to Space B13. There are early moulded timber door architraves and the door has been battened over;

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

P. Space B13 (Kitchen) is predominantly characterised by the following construction and detailing:

- Original (1888) beaded edged and stained timber lining board ceiling with scotia mould cornice;
- Original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;
- Hard plaster walls (north, south and east walls);
- Original (1888) timber framed panelled timber and glazed partition wall (west side) with six panelled timber door;
- Original (1888) timber framed round-arched two paned hopper sash fanlight (west side);
- Original (1888) moulded timber skirtings (low height);
- Early timber floor boards with introduced linoleum over;
- Original (1888) window opening with early timber framed two paned double hung window (east wall);
- Original (1888) moulded timber window and door architraves (with original skirting blocks to door architraves);
- Original (1888) plaster wall vent (east wall);
- Introduced suspended fluorescent lights;

Conservation Comments

- Missing panelled timber and glazed partition and six panelled door (north end);
- Introduced holes in skirtings for subfloor ventilation;
- Water staining on timber lined ceiling suggesting previous falling damp – the problem appears to have been resolved;

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

V. Space B19 (Booth) is predominantly characterised by the following construction and detailing:

- Original (1888) beaded edged and stained timber lining board ceiling;
- Original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;
- Hard plaster walls (east, west and south walls) with introduced fabric on upper reaches of walls;
- Original (1888) plaster wall vent;
- Early moulded timber skirtings (low height);
- Introduced moulded timber picture rails;
- Recycled timber floor boards;
- Original (1888) timber framed round-arched two paned hopper sash fanlight;
- Original (1888) timber wall partition stiles below fanlight (vertical members only);
- Introduced pendant light;

Conservation Comments

- Paint marks on stained timber lined ceiling;
- Missing scotia mould cornice to timber lined ceiling;
- Missing panelled timber and glazed partition and six panelled door (north end);
- Introduced holes in skirtings for subfloor ventilation;

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

W. Space B20 (Booth) is predominantly characterised by the following construction and detailing:

- Original (1888) beaded edged and stained timber lining board ceiling;
- Original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;
- Hard plaster walls (east, west and south walls) with introduced fabric on upper reaches of walls;
- Original (1888) plaster wall vent;
- Early moulded timber skirtings (low height);
- Introduced moulded timber picture rails;
- Introduced timber floor boards;
- Original (1888) timber framed round-arched two paned hopper sash fanlight;
- Original (1888) timber wall partition stiles below fanlight (vertical members only);

- Introduced pendant light;

Conservation Comments

- Missing scotia mould cornice to timber lined ceiling;
- Missing panelled timber and glazed partition and six panelled door (north end);
- Evidence of previous falling damp in the water stains on the ceiling lining boards;
- Introduced holes in skirtings for subfloor ventilation;

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

- X. **Space B21 (Booth)** is predominantly characterised by the following construction and detailing:

- Possible original (1888) beaded edged and stained timber lining board ceiling above introduced fabric on ceiling and upper reaches of walls;
- Possible original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood above introduced fabric on ceiling and upper reaches of walls;
- Hard plaster walls (east, west and south walls);
- Original (1888) plaster wall vent;
- Early timber skirtings (low height);
- Introduced moulded timber picture rails;
- Introduced timber floor boards;
- Original (1888) timber framed round-arched two paned hopper sash fanlight;
- Original (1888) timber wall partition stiles below fanlight (vertical members only);
- Introduced pendant light;

Conservation Comments

- Missing panelled timber and glazed partition and six panelled door (north end);
- Introduced holes in skirtings for subfloor ventilation;

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

- Y. **Space B22 (Booth)** is predominantly characterised by the following construction and detailing:

- Original (1888) beaded edged and stained timber lining board ceiling above introduced fabric;
- Original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;
- Hard plaster walls (east, west and south walls);
- Original (1888) plaster wall vent;
- Early moulded timber skirtings (low height);
- Introduced moulded timber picture rails;
- Introduced timber floor boards;
- Original (1888) timber framed round-arched two paned hopper sash fanlight;

- Original (1888) timber wall partition stiles below fanlight (vertical members only);
- Introduced pendant light;

Conservation Comments

- Missing scotia mould cornice to timber lined ceiling;
- Missing panelled timber and glazed partition and six panelled door (north end);
- Introduced holes in skirtings for subfloor ventilation;

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

Z. Space B23 (Booth) is predominantly characterised by the following construction and detailing:

- Original (1888) beaded edged and stained timber lining board ceiling above introduced fabric on ceiling;
- Possible original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood above introduced fabric on ceiling;
- Hard plaster walls (east, west and south walls);
- Original (1888) plaster wall vent;
- Early moulded timber skirtings (low height);
- Introduced moulded timber picture rails;
- Introduced timber floor boards;
- Original (1888) timber framed round-arched two paned hopper sash fanlight;
- Original (1888) timber wall partition stiles below fanlight (vertical members only);
- Introduced pendant light and spot lights;

Conservation Comments

- Missing scotia mould cornice to timber lined ceiling;
- Timber lined ceiling has been painted;
- Missing panelled timber and glazed partition and six panelled door (north end);
- Introduced holes in skirtings for subfloor ventilation;

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

AA. Space B24 (Booth) is predominantly characterised by the following construction and detailing:

- Original (1888) beaded edged and stained timber lining board ceiling;
- Original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;
- Hard plaster walls (east, west and south walls);
- Original (1888) plaster wall vent;
- Early moulded timber skirtings (low height);
- Introduced timber picture rails;
- Introduced timber floor boards;

- Original (1888) timber framed round-arched two paned hopper sash fanlight;
- Original (1888) timber wall partition stiles below fanlight (vertical members only);
- Introduced pendant light;

Conservation Comments

- Missing scotia mould cornice to timber lined ceiling;
- Some introduced fabric on ceiling;
- Paint marks on timber lined ceiling;
- Missing panelled timber and glazed partition and six panelled door (north end);
- Introduced holes in skirtings for subfloor ventilation;

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

BB. Space B25 (Booth) is predominantly characterised by the following construction and detailing:

- Original (1888) beaded edged and stained timber lining board ceiling;
- Original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;
- Hard plaster walls (east, west and south walls);
- Original (1888) plaster wall vent;
- Early moulded timber skirtings (low height);
- Introduced timber picture rails;
- Introduced timber floor boards;
- Original (1888) timber framed round-arched two paned hopper-sash fanlight;
- Original (1888) timber wall partition stile below fanlight (vertical east member only);
- Introduced timber wall partition stile below fanlight (vertical west member only);

Conservation Comments

- Missing scotia mould cornice to timber lined ceiling;
- Some introduced fabric on ceiling;
- Paint marks on ceiling;
- Missing panelled timber and glazed partition and six panelled door (north end);
- Introduced holes in skirtings for subfloor ventilation;

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

CC. Space B26 (Booth) is predominantly characterised by the following construction and detailing:

- Original (1888) beaded edged and stained timber lining board ceiling covered by introduced fabric;
- Possible original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood above introduced fabric on ceiling;

- Hard plaster walls (east, west and south walls);
- Original (1888) plaster wall vent;
- Early moulded timber skirtings (low height);
- Introduced moulded timber picture rails;
- Introduced stained timber floor boards;
- Original (1888) timber framed round-arched two paned hopper sash fanlight;
- Original (1888) timber wall partition stiles below fanlight (vertical members only);
- Introduced pendant light;

Conservation Comments

- Missing panelled timber and glazed partition and six panelled door (north end);
- Introduced holes in skirtings for subfloor ventilation;

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

DD. Space B27 (Booth) is predominantly characterised by the following construction and detailing:

- Original (1888) beaded edged and stained timber lining board ceiling;
- Original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;
- Hard plaster walls (east, west and south walls);
- Original (1888) plaster wall vent;
- Early moulded timber skirtings (low height);
- Introduced moulded timber picture rails;
- Introduced and appropriate timber floor boards;
- Original (1888) timber framed round-arched two paned hopper sash fanlight;
- Original (1888) timber wall partition stiles below fanlight (vertical members only);

Conservation Comments

- Missing scotia mould cornice to timber lined ceiling;
- Previously falling damp as damaged the timber ceiling boards which are stressed and falling away from ceiling;
- Missing panelled timber and glazed partition and six panelled door (north end);
- Missing galvanised hood to ceiling ventilation opening;
- Introduced holes in skirtings for subfloor ventilation;

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

EE. Space B28 (Booth) is predominantly characterised by the following construction and detailing:

- Original (1888) beaded edged and stained timber lining board ceiling;
- Original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood;

- Hard plaster walls (east, west and south walls);
- Original (1888) plaster wall vent;
- Early moulded timber skirtings (low height);
- Introduced stenciled and varnished timber floor boards;
- Original (1888) timber framed round-arched two paned hopper sash fanlight;
- Introduced timber wall partition stiles below fanlight (vertical members only);
- Introduced pendant light;

Conservation Comments

- Missing scotia mould cornice to timber lined ceiling;
- Damaged ceiling boards due to previous falling damp. The boards are loose and falling away;
- Missing panelled timber and glazed partition and six panelled door (north end);
- Dislodged galvanised hood to ceiling ventilation opening;
- Introduced holes in skirtings for subfloor ventilation;

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

FF. Space B29 (Booth) is predominantly characterised by the following construction and detailing:

- Original (1888) beaded edged and stained timber lining board ceiling above introduced fabric;
- Possible original (1888) ceiling ventilation opening with bolection moulded frame and galvanised hood above introduced fabric on ceiling;
- Hard plaster walls (east, west and south walls);
- Early moulded timber skirtings (low height);
- Introduced and appropriate timber floor boards;
- Original (1888) timber framed round-arched two paned hopper sash fanlight;
- Original (1888) timber wall partition stiles below fanlight (vertical members only);
- Introduced pendant light;

Conservation Comments

- Missing scotia mould cornice;
- Damaged ceiling boards due to previous falling damp. The boards are loose and falling away;
- Missing panelled timber and glazed partition and six panelled door (north end);
- Introduced holes in skirtings for subfloor ventilation;

This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

GG. Spaces B30-31 (Booth) were not accessible. These spaces now contain an electrical substation, with brick walls introduced within the booths. From the exterior, the following fabric and detailing is extant:

- Introduced timber framed panelled timber and glazed partition wall (north side) with six panelled timber door;

Conservation Comments

- Introduced electrical substation;
- Introduced brick walls;

These spaces are in good condition and appear to be of **low integrity**. The spaces appear to have been considerably altered.

1.2.3 Call Room

A. **The Call Room (Space CR01)** is predominantly characterised by the following construction and detailing (Photos 3.84-3.90):

- Original (1888) coved, beaded edged timber lined ceiling with ogee mould timber cornice;
- Original (1888) exposed turned timber Queen Post roof trusses;
- Original (1888) elongated lantern light;
- Hard plaster walls;
- Introduced moulded timber skirtings (high height). These skirtings appear to be a reconstruction of the original fabric;
- Introduced timber floor boards;
- Original (1888) timber framed hopper sash lantern windows;
- Introduced glazing to the lantern windows (south side);
- Introduced corrugated acrylic sheeting over lantern windows (north, east and west sides);
- Original (1888) moulded timber door architraves;
- Original (1888) three panelled timber double doors (south wall);
- Early four panelled timber doors (south and west walls);
- Introduced timber framed fixed window (south wall);
- Altered round-arched marble fireplace (north wall);
- Altered marble mantel;
- Original (1888) basalt hearth;
- Original (1888) plaster wall vents;
- Introduced suspended fluorescent lights;
- Introduced sink and plumbing (west wall);

Conservation Comments

- The fireplace does not appear to have been operational for some years. Note that the new abutting University of Ballarat building to the north is more elevated than the exterior chimney. This may cause a down-draft if fireplace is operated;
- Evidence of substantial previous [?] falling damp on east wall and on coved timber lined ceiling;
- Evidence of dampness on south wall (east end) caused by rainwater overflow because of blocked gutter;
- Evidence of previous, introduced carpet over floor at the junction with the skirtings;
- Broken plaster wall vents allowing vermin ingress;
- Damaged door frame to double doors (south wall). The door has been forced open and a complete timber strip has been sheered off because of the incorrect location of the introduced deadbolt. The timber door strip is now resting on the mantel above the fireplace;
- There are two introduced heat banks remaining of the early 10, but 10 thermostats on the walls with chased in electrical wiring;

- Evidence of Deep Indian Red dado on lower reaches of walls; This space is in good condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

1.2.4 Toilets, Office and Passage

A. **Space T01 (Former Men's Toilets)** is predominantly characterised by the following construction and detailing:

- Early/original timber framed corrugated iron clad skillion roof over toilets and urinal;
- Introduced exposed timber framed roof structure with introduced corrugated acrylic roof sheeting;
- Original (1888) painted brick south and east walls;
- Early painted brick west wall;
- Early painted brick toilet cubicles;
- Early concrete floor;
- Original (1888) four panelled timber door with timber framed transom window above (south wall);
- Original (1888) brass door furniture to panelled door;
- Early beaded edged vertically boarded cubicle doors;
- Introduced timber framed galvanised corrugated steel partition wall (north wall);

Conservation Comments

- Evidence of a previous screen wall that was attached to the east wall (screening the toilet spaces from the southern doorway);
- Substantial deterioration in brick walls and timber framing due to falling damp and overgrowth of creeper within the toilet space;
- Evidence of demolished northern toilet cubicle, leaving a narrow open space that is subject to the weather;
- Introduced raised concrete slab (north end) causing substantial water ponding within toilet space;

This space is in poor condition and of **low-moderate integrity**. Apart from the original and early fabric listed above, the space has experienced several alterations.

B. **Space T02 (Office):** is predominantly characterised by the following construction and detailing (Photos 3.95-3.99):

- Original (1888) beaded edged timber lining board ceiling with black plastic covering;
- Hard plaster walls;
- Original (1888) moulded timber skirtings (low height);
- Early [?] concrete floor with introduced carpet over;
- Original (1888) moulded timber window and door architraves;
- Early timber framed two paned double hung window sheeted over;
- Original (1888) four panelled timber door;

Conservation Comments

- Deteriorated timber lining board ceiling due to falling damp;
- Evidence of rising damp along the lower reaches of the west wall;

This space is in fair condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities .

C. **Space T03 (Passage):** is predominantly characterised by the following construction and detailing (Photos 3.91-3.94):

- Original (1888) beaded edged timber lining board ceiling (no cornices);
- Original (1888) painted brick walls;
- Introduced moulded plaster skirtings, with some areas without skirtings;
- Early [?] concrete floor;
- Original (1888) moulded timber door architraves;
- Original (1888) six panelled timber door (west wall);
- Original (1888) six panelled timber door (south end) with early original paint scheme;
- Original (1888) four panelled timber door (north wall and doorway into office, space T02);
- Introduced fuse box;

Conservation Comments

- Evidence of rising damp in lower reaches of walls with powdery mortar joints;
- Damaged brick corner of wall (exterior of office, space T02) caused by electrical conduit installation;

This space is in fair condition and of **moderate-high integrity**. Apart from the few alterations listed above, the form, construction, design and most of the detailing represents the original 1888 qualities.

8.06 Australia ICOMOS Burra Charter

The Burra Charter

(The Australia ICOMOS Charter for Places of Cultural Significance)

Preamble

Considering the International Charter for the Conservation and Restoration of Monuments and Sites (Venice 1964), and the Resolutions of the 5th General Assembly of the International Council on Monuments and Sites (ICOMOS) (Moscow 1978), the Burra Charter was adopted by Australia ICOMOS (the Australian National Committee of ICOMOS) on 19 August 1979 at Burra, South Australia. Revisions were adopted on 23 February 1981, 23 April 1988 and 26 November 1999.

The Burra Charter provides guidance for the conservation and management of places of cultural significance (cultural heritage places), and is based on the knowledge and experience of Australia ICOMOS members.

Conservation is an integral part of the management of places of cultural significance and is an ongoing responsibility.

Who is the Charter for?

The Charter sets a standard of practice for those who provide advice, make decisions about, or undertake works to places of cultural significance, including owners, managers and custodians.

Using the Charter

The Charter should be read as a whole. Many articles are interdependent. Articles in the Conservation Principles section are often further developed in the Conservation Processes and Conservation Practice sections. Headings have been included for ease of reading but do not form part of the Charter.

The Charter is self-contained, but aspects of its use and application are further explained in the following Australia ICOMOS documents:

- Guidelines to the Burra Charter: Cultural Significance;

- Guidelines to the Burra Charter: Conservation Policy;
- Guidelines to the Burra Charter: Procedures for Undertaking Studies and Reports;
- Code on the Ethics of Coexistence in Conserving Significant Places.

What places does the Charter apply to?

The Charter can be applied to all types of places of cultural significance including natural, indigenous and historic places with cultural values.

The standards of other organisations may also be relevant. These include the Australian Natural Heritage Charter and the Draft Guidelines for the Protection, Management and Use of Aboriginal and Torres Strait Islander Cultural Heritage Places.

Why conserve?

Places of cultural significance enrich people's lives, often providing a deep and inspirational sense of connection to community and landscape, to the past and to lived experiences. They are historical records, that are important as tangible expressions of Australian identity and experience. Places of cultural significance reflect the diversity of our communities, telling us about who we are and the past that has formed us and the Australian landscape. They are irreplaceable and precious.

These places of cultural significance must be conserved for present and future generations.

The Burra Charter advocates a cautious approach to change, do as much as necessary to care for the place and to make it useable, but otherwise change it as little as possible so that its cultural significance is retained.

Articles

Article 1. Definitions

For the purposes of this Charter:

- 1.1 *Place* means site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views.
- 1.2 *Cultural significance* means aesthetic, historic, scientific, social or spiritual value for past, present or future generations.
Cultural significance is embodied in the *place* itself, its *fabric*, *setting*, *use*, *associations*, *meaning*, records, *related places* and *related objects*.
Places may have a range of values for different individuals or groups.
- 1.3 *Fabric* means all the physical material of the *place* including components, fixtures, contents, and objects.
- 1.4 *Conservation* means all the processes of looking after a *place* so as to retain its *cultural significance*.
- 1.5 *Maintenance* means the continuous protective care of the *fabric* and *setting* of a *place*, and is to be distinguished from repair. Repair involves restoration or reconstruction.
- 1.6 *Preservation* means maintaining the *fabric* of a *place* in its existing state and retarding deterioration.
- 1.7 *Restoration* means returning the existing *fabric* of a *place* to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.
- 1.8 *Reconstruction* means returning a *place* to a known earlier state and is distinguished from *restoration* by the introduction of new material into the *fabric*.
- 1.9 *Adaptation* means modifying a *place* to suit the existing use or a proposed use.
- 1.10 *Use* means the functions of a place, as well as the activities and practices that may occur at the place.
- 1.11 *Compatible use* means a use which respects the *cultural significance* of a *place*. Such a use involves no, or minimal, impact on cultural significance.
- 1.12 *Setting* means the area around a *place*, which may include the visual catchment.
- 1.13 *Related place* means a place that contributes to the *cultural significance* of another place.

Explanatory Notes

The concept of place should be broadly interpreted. The elements described in Article 1.1 may include memorials, trees, gardens, parks, places of historical events, urban areas, towns, industrial places, archaeological sites and spiritual and religious places.

The term cultural significance is synonymous with heritage significance and cultural heritage value.

Cultural significance may change as a result of the continuing history of the place.

Understanding of cultural significance may change as a result of new information.

Fabric includes building interiors and sub-surface remains, as well as excavated material.

Fabric may define spaces and these may be important elements of the significance of the place.

The distinctions referred to, for example in relation to roof gutters, are:

- maintenance — regular inspection and cleaning of gutters;
- repair involving restoration — returning of dislodged gutters;
- repair involving reconstruction — replacing decayed gutters.

It is recognised that all places and their components change over time at varying rates.

New material may include recycled material salvaged from other places. This should not be to the detriment of any place of cultural significance.

Articles

- 1.14 *Related objects* means an object that contributes to the *cultural significance* of a *place* but is not at the *place*.
- 1.15 *Associations* mean the special connections that exist between people and a *place*.
- 1.16 *Meanings* denote what a *place* signifies, indicates, evokes or expresses.
- 1.17 *Interpretation* means all the ways of presenting the *cultural significance* of a *place*.

Conservation Principles

Article 2. Conservation and management

- 2.1 *Places of cultural significance* should be conserved.
- 2.2 The aim of *conservation* is to retain the *cultural significance* of a *place*.
- 2.3 *Conservation* is an integral part of good management of *places of cultural significance*.
- 2.4 *Places of cultural significance* should be safeguarded and not put at risk or left in a vulnerable state.

Article 3. Cautious approach

- 3.1 *Conservation* is based on a respect for the existing *fabric, use, associations* and *meanings*. It requires a cautious approach of changing as much as necessary but as little as possible.
- 3.2 Changes to a *place* should not distort the physical or other evidence it provides, nor be based on conjecture.

Article 4. Knowledge, skills and techniques

- 4.1 *Conservation* should make use of all the knowledge, skills and disciplines which can contribute to the study and care of the *place*.
- 4.2 Traditional techniques and materials are preferred for the *conservation* of significant *fabric*. In some circumstances modern techniques and materials which offer substantial conservation benefits may be appropriate.

Explanatory Notes

Associations may include social or spiritual values and cultural responsibilities for a place.

Meanings generally relate to intangible aspects such as symbolic qualities and memories.

Interpretation may be a combination of the treatment of the fabric (e.g. maintenance, restoration, reconstruction), the use of and activities at the place, and the use of introduced explanatory material.

The traces of additions, alterations and earlier treatments to the fabric of a place are evidence of its history and uses which may be part of its significance. Conservation action should assist and not impede their understanding.

The use of modern materials and techniques must be supported by firm scientific evidence or by a body of experience.

Articles

Article 5. Values

5.1. *Conservation of a place* should identify and take into consideration all aspects of cultural and natural significance without unwarranted emphasis on any one value at the expense of others.

5.2. Relative degrees of *cultural significance* may lead to different *conservation* actions at a place.

Article 6. Burra Charter process

6.1. The *cultural significance* of a *place* and other issues affecting its future are best understood by a sequence of collecting and analysing information before making decisions. Understanding *cultural significance* comes first, then development of policy and finally management of the place in accordance with the policy.

6.2. The policy for managing a *place* must be *based* on an understanding of its *cultural significance*.

6.3. Policy development should also include consideration of other factors affecting the future of a *place* such as the owner's needs, resources, external constraints and its physical condition.

Article 7. Use

7.1. Where the *use* of a *place* is of *cultural significance* it should be retained.

7.2. A *place* should have a *compatible* use.

Article 8. Setting

Conservation requires the retention of an appropriate *visual setting* and other relationships that contribute to the *cultural significance* of the *place*.

New construction, demolition, intrusions or other changes which would adversely affect the setting or relationships are not appropriate.

Explanatory Notes

Conservation of places with natural significance is explained in the Australian Natural Heritage Charter. This Charter defines natural significance to mean the importance of ecosystems, biological diversity and geodiversity for their existence value, or for present or future generations in terms of their scientific, social, aesthetic and life-support value.

A cautious approach is needed, as understanding of cultural significance may change. This article should not be used to justify actions which do not retain cultural significance.

The Burra Charter process, or sequence of investigations, decisions and actions, is illustrated in the accompanying flowchart.

The policy should identify a use or combination of uses or constraints on uses that retain the cultural significance of the place. New use of a place should involve minimal change, to significant fabric and use; should respect associations and meanings; and where appropriate should provide for continuation of practices which contribute to the cultural significance of the place.

Aspects of the visual setting may include use, siting, bulk, form, scale, character, colour, texture and materials.

Other relationships, such as historical connections, may contribute to interpretation, appreciation, enjoyment or experience of the place.

Articles

Article 9. Location

- 9.1 The physical location of a *place* is part of its *cultural significance*. A building, work or other component of a place should remain in its historical location. Relocation is generally unacceptable unless this is the sole practical means of ensuring its survival.
- 9.2 Some buildings, works or other components of *places* were designed to be readily removable or already have a history of relocation. Provided such buildings, works or other components do not have significant links with their present location, removal may be appropriate.
- 9.3 If any building, work or other component is moved, it should be moved to an appropriate location and given an appropriate use. Such action should not be to the detriment of any *place* of *cultural significance*.

Article 10. Contents

Contents, fixtures and objects which contribute to the *cultural significance* of a *place* should be retained at that place. Their removal is unacceptable unless it is the sole means of ensuring their security and *preservation*, on a temporary basis for treatment or exhibition; for cultural reasons; for health and safety; or to protect the place. Such contents, fixtures and objects should be returned where circumstances permit and it is culturally appropriate.

Article 11. Related places and objects

The contribution which *related places* and *related objects* make to the *cultural significance* of the *place* should be retained.

Article 12. Participation

Conservation, interpretation and management of a *place* should provide for the participation of people for whom the place has special *associations* and *meanings*, or who have social, spiritual or other cultural responsibilities for the place.

Article 13. Co-existence of cultural values

Co-existence of cultural values should be recognised, respected and encouraged, especially in cases where they conflict.

Explanatory Notes

For some places, conflicting cultural values may affect policy development and management decisions. In this article, the term *cultural values* refers to those beliefs which are important to a cultural group, including but not limited to political, religious, spiritual and moral beliefs. This is broader than values associated with cultural significance.

Articles

Explanatory Notes

Conservation Processes

Article 14. Conservation processes

Conservation may, according to circumstance, include the processes of: retention or reintroduction of a *use*; retention of *associations* and *meanings*; *maintenance*, *preservation*, *restoration*, *reconstruction*, *adaptation* and *interpretation*; and will commonly include a combination of more than one of these.

There may be circumstances where no action is required to achieve conservation.

Article 15. Change

15.1 Change may be necessary to retain *cultural significance*, but is undesirable where it reduces cultural significance. The amount of change to a *place* should be guided by the *cultural significance* of the place and its appropriate *interpretation*.

When change is being considered, a range of options should be explored to seek the option which minimises the reduction of cultural significance.

15.2 Changes which reduce *cultural significance* should be reversible, and be reversed when circumstances permit.

Reversible changes should be considered temporary. Non-reversible change should only be used as a last resort and should not prevent future conservation action.

15.3 Demolition of significant *fabric* of a *place* is generally not acceptable. However, in some cases minor demolition may be appropriate as part of *conservation*. Removed significant fabric should be reinstated when circumstances permit.

15.4 The contributions of all aspects of *cultural significance* of a *place* should be respected. If a place includes *fabric*, *uses*, *associations* or *meanings* of different periods, or different aspects of cultural significance, emphasising or interpreting one period or aspect at the expense of another can only be justified when what is left out, removed or diminished is of slight cultural significance and that which is emphasised or interpreted is of much greater cultural significance.

Article 16. Maintenance

Maintenance is fundamental to *conservation* and should be undertaken where *fabric* is of *cultural significance* and its maintenance is necessary to retain that *cultural significance*.

Articles

Article 17. Preservation

Preservation is appropriate where the existing *fabric* or its condition constitutes evidence of *cultural significance*, or where insufficient evidence is available to allow other *conservation* processes to be carried out.

Article 18. Restoration and reconstruction

Restoration and *reconstruction* should reveal culturally significant aspects of the *place*.

Article 19. Restoration

Restoration is appropriate only if there is sufficient evidence of an earlier state of the *fabric*.

Article 20. Reconstruction

- 20.1 *Reconstruction* is appropriate only where a *place* is incomplete through damage or alteration, and only where there is sufficient evidence to reproduce an earlier state of the *fabric*. In rare cases, reconstruction may also be appropriate as part of a use or practice that retains the *cultural significance* of the *place*.
- 20.2 *Reconstruction* should be identifiable on close inspection or through additional *interpretation*.

Article 21. Adaptation

- 21.1 *Adaptation* is acceptable only where the adaptation has minimal impact on the *cultural significance* of the *place*.
- 21.2 *Adaptation* should involve minimal change to significant fabric, achieved only after considering alternatives.

Article 22. New work

- 22.1 New work such as additions to the *place* may be acceptable where it does not distort or obscure the *cultural significance* of the *place*, or detract from its *interpretation* and appreciation.
- 22.2 New work should be readily identifiable as such.

The Burra Charter, 1999

Explanatory Notes

Preservation protects fabric without obscuring the evidence of its construction and use. The process should always be applied:

- where the evidence of the fabric is of such significance that it should not be altered;
- where insufficient investigation has been carried out to permit policy decisions to be taken in accord with Articles 26 to 28.

New work (e.g. stabilisation) may be carried out in association with preservation when its purpose is the physical protection of the fabric and when it is consistent with Article 22.

Adaptation may involve the introduction of new services, or a new use, or changes to safeguard the *place*.

New work may be sympathetic if its siting, bulk, form, scale, character, colour, texture and material are similar to the existing fabric, but imitation should be avoided.

Australia ICOMOS Inc. 7

Articles

Article 23. Conserving use

Continuing, modifying or reinstating a significant *use* may be appropriate and preferred forms of *conservation*.

Article 24. Retaining associations and meanings

24.1 Significant *associations* between people and a *place* should be respected, retained and not obscured. Opportunities for the *interpretation*, commemoration and celebration of these associations should be investigated and implemented.

24.2 Significant *meanings*, including spiritual values, of a *place* should be respected. Opportunities for the continuation or revival of these meanings should be investigated and implemented.

Article 25. Interpretation

The *cultural significance* of many places is not readily apparent, and should be explained by *interpretation*. Interpretation should enhance understanding and enjoyment, and be culturally appropriate.

Conservation Practice

Article 26. Applying the Burra Charter process

26.1 Work on a *place* should be preceded by studies to understand the place which should include analysis of physical, documentary, oral and other evidence, drawing on appropriate knowledge, skills and disciplines.

26.2 Written statements of *cultural significance* and policy for the *place* should be prepared, justified and accompanied by supporting evidence. The statements of significance and policy should be incorporated into a management plan for the place.

26.3 Groups and individuals with *associations* with a place as well as those involved in its management should be provided with opportunities to contribute to and participate in understanding the *cultural significance* of the place. Where appropriate they should also have opportunities to participate in its *conservation* and management.

Article 27. Managing change

27.1 The impact of proposed changes on the *cultural significance* of a *place* should be analysed with reference to the statement of significance and the policy for managing the place. It may be necessary to modify proposed changes following analysis to better retain cultural significance.

27.2 Existing *fabric*, *use*, *associations* and *meanings* should be adequately recorded before any changes are made to the *place*.

Explanatory Notes

These may require changes to significant fabric but they should be minimised. In some cases, continuing a significant use or practice may involve substantial new work.

For many places associations will be linked to use.

The results of studies should be up to date, regularly reviewed and revised as necessary.

Statements of significance and policy should be kept up to date by regular review and revision as necessary. The management plan may deal with other matters related to the management of the place.

Articles

Article 28. Disturbance of fabric

- 28.1 Disturbance of significant *fabric* for study, or to obtain evidence, should be minimised. Study of a *place* by any disturbance of the fabric, including archaeological excavation, should only be undertaken to provide data essential for decisions on the *conservation* of the place, or to obtain important evidence about to be lost or made inaccessible.
- 28.2 Investigation of a *place* which requires disturbance of the *fabric*, apart from that necessary to make decisions, may be appropriate provided that it is consistent with the policy for the place. Such investigation should be based on important research questions which have potential to substantially add to knowledge, which cannot be answered in other ways and which minimises disturbance of significant fabric.

Article 29. Responsibility for decisions

The organisations and individuals responsible for management decisions should be named and specific responsibility taken for each such decision.

Article 30. Direction, supervision and implementation

Competent direction and supervision should be maintained at all stages, and any changes should be implemented by people with appropriate knowledge and skills.

Article 31. Documenting evidence and decisions

A log of new evidence and additional decisions should be kept.

Article 32. Records

- 32.1 The records associated with the *conservation* of a *place* should be placed in a permanent archive and made publicly available, subject to requirements of security and privacy, and where this is culturally appropriate.
- 32.2 Records about the history of a *place* should be protected and made publicly available, subject to requirements of security and privacy, and where this is culturally appropriate.

Article 33. Removed fabric

Significant *fabric* which has been removed from a *place* including contents, fixtures and objects, should be catalogued, and protected in accordance with its *cultural significance*.

Where possible and culturally appropriate, removed significant fabric including contents, fixtures and objects, should be kept at the place.

Article 34. Resources

Adequate resources should be provided for conservation.

Words in italics are defined in Article 1.

The Burra Charter, 1999

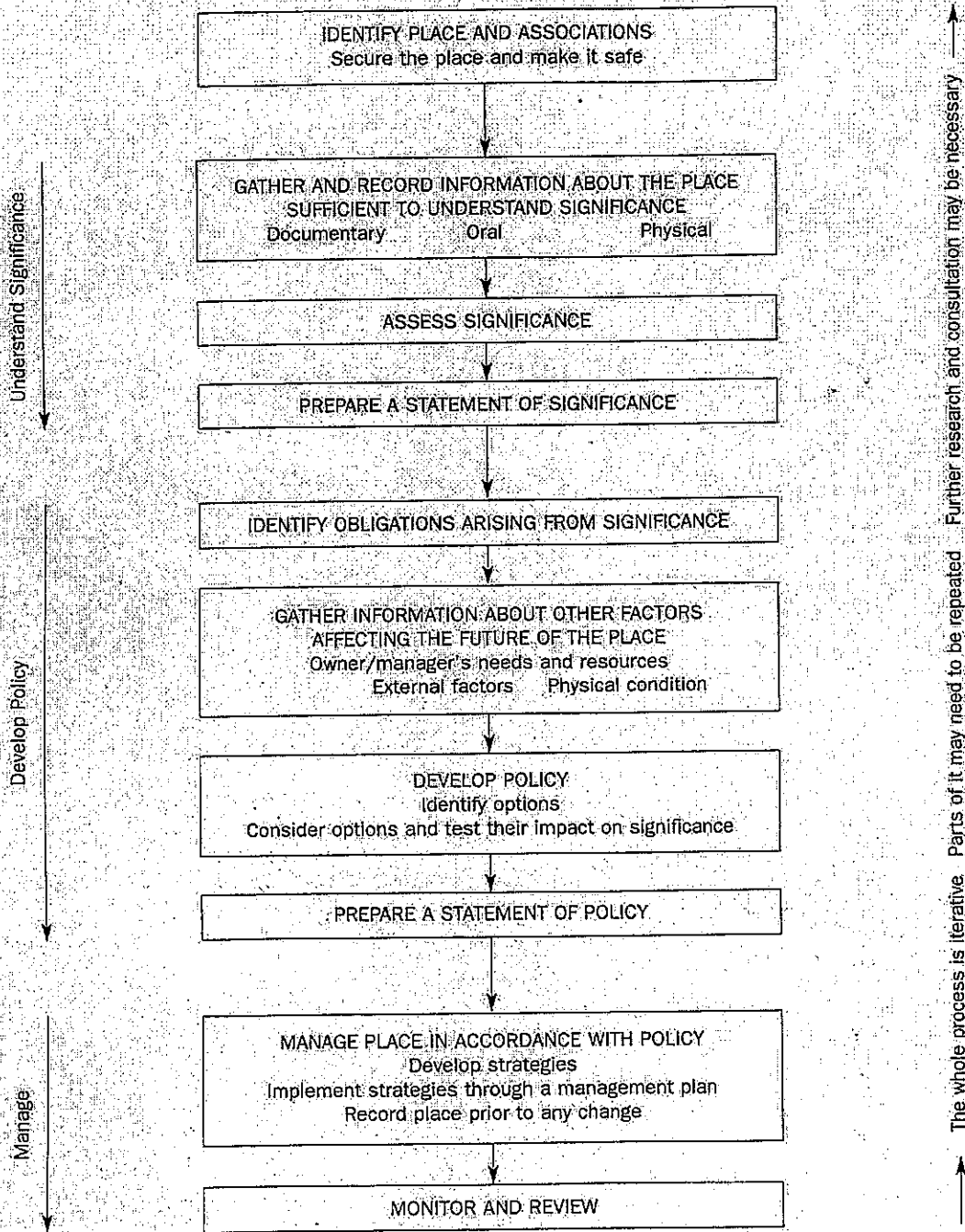
Explanatory Notes

The best conservation often involves the least work and can be inexpensive.

Australia ICOMOS Inc 9

The Burra Charter Process

Sequence of investigations, decisions and actions



8.07 Criteria for Assessment of Cultural Significance as adopted by the Heritage Council of Victoria



Heritage
VICTORIA

**CRITERIA FOR ASSESSMENT OF CULTURAL
HERITAGE SIGNIFICANCE**

(Criteria adopted by the Heritage Council on 6 March 1997 pursuant to
Sections 8(c) and 8(2) of the Heritage Act 1995)

- CRITERION A.** The historical importance, association with or relationship to Victoria's history of the place or object.
- CRITERION B.** The importance of a place or object in demonstrating rarity or uniqueness.
- CRITERION C.** The place or object's potential to educate, illustrate or provide further scientific investigation in relation to Victoria's cultural heritage.
- CRITERION D.** The importance of a place or object in exhibiting the principal characteristics or the representative nature of a place or object as part of a class or type of places or objects.
- CRITERION E.** The importance of the place or object in exhibiting good design or aesthetic characteristics and/or in exhibiting a richness, diversity or unusual integration of features.
- CRITERION F.** The importance of the place or object in demonstrating or being associated with scientific or technical innovations or achievements.
- CRITERION G.** The importance of the place or object in demonstrating social or cultural associations.
- CRITERION H.** Any other matter which the Council considers relevant to the determination of cultural heritage significance.

